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REVISIONS

UNCOMMON ETHEL

ENTITLEMENT SET // 5.31.2023

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GENERAL CONTRACTOR // UNCOMMON DEVELOPERS	
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GENERAL CONTRACTOR // UNCOMMON DEVELOPERS	
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OWNER // 5511 ETHEL LLC	
LOS ANGELES, CA	
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LANDSCAPE ARCHITECT // TGP, Inc.	
PO BOX 704 MONTROSE, CA 91021	NANDA RAGHUNATHAN 818.787.5914 // NANDAR@TGPINC.NET
STRUCTURAL ENGINEER // DCI ENGINEERS	
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ELECTRICAL ENGINEER // SABAG ELECTRIC CORPORATION	
8786 YOLANDA AVE. NORTHRIDGE, CA 91324	JONATHAN SABAG 818.974.4450 // JONATHAN@SABAGELECTRIC.COM
PLUMBING ENGINEER // LEWIS ROSS ASSOCIATES, INC	
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GENERAL	
G000	COVER SHEET
G001	PROJECT INFORMATION
G002	SITE PHOTOS & EXISTING CONDITIONS
G003	RENDERINGS
G009	GROSS AREA CALCULATIONS
G010	ZONING CODE AREA DIAGRAMS
G012	OPEN SPACE CALCULATIONS
G013	OCCUPANCY LOAD DIAGRAMS
G016	CODE COMPLIANCE DIAGRAMS
G030	BUILDING RECORDS
G031	BUILDING RECORDS
G040	TYPICAL DAS DETAILS (CBC)
G041	TYPICAL DAS DETAILS (CBC)
G042	TYPICAL DAS DETAILS (CBC)
G060	SOIL APPROVAL
G080	SURVEY
G081	SURVEY
CIVIL	
C0.01	TITLE SHEET
C0.02	SOILS APPROVAL LETTER SHEET
C1.00	SURVEY (FOR REFERENCE ONLY)
C1.01	SURVEY (FOR REFERENCE ONLY)
C1.10	EROSION CONTROL AND DEMOLITION PLAN
C1.20	ROUGH GRADING PLAN
C1.21	ROUGH GRADING SECTIONS
C1.30	GRADING, HORIZONTAL CONTROL, AND PAVING PLAN
C1.40	UTILITY AND LID PLAN - LEVEL 1
C1.41	UTILITY AND LID PLAN - LEVEL 3
C2.00	DETAILS
C2.01	DETAILS

LANDSCAPE	
L0.01	GENERAL INFORMATION
L1.11	HARDSCAPE PLAN - LEVEL 1 WEST
L1.12	HARDSCAPE PLAN - LEVEL 1 EAST
L1.13	HARDSCAPE PLAN - LEVEL 3
L1.21	HARDSCAPE DETAILS
L1.31	MEP COORDINATION PLAN - LEVEL 1 WEST
L1.32	MEP COORDINATION PLAN - LEVEL 1 EAST
L1.33	MEP COORDINATION PLAN - LEVEL 3
L2.11	IRRIGATION PLAN - LEVEL 1 WEST
L2.12	IRRIGATION PLAN - LEVEL 1 EAST
L2.13	IRRIGATION PLAN - LEVEL 3
L3.11	PLANTING PLAN - LEVEL 1 WEST
L3.12	PLANTING PLAN - LEVEL 1 EAST
L3.13	PLANTING PLAN - LEVEL 3
L3.21	PLANTING DETAILS
ARCHITECTURAL	
A000	SITE PLAN
A110	1ST FLOOR PLAN
A120	2ND FLOOR PLAN
A130	3RD FLOOR PLAN
A140	4TH FLOOR PLAN
A150	5TH FLOOR PLAN
A160	6TH FLOOR PLAN
A170	7TH FLOOR PLAN
A180	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A202	COURTYARD ELEVATIONS
A300	BUILDING SECTIONS
A301	BUILDING SECTIONS
A500	ENLARGED PLANS AND SECTIONS ELEVATOR #1
A501	ENLARGED PLANS AND SECTIONS ELEVATOR #2
A510	ENLARGED PLANS AND SECTION STAIR #1
A511	ENLARGED PLANS AND SECTION STAIR #2
A512	ENLARGED PLANS AND SECTION STAIR #3 & STAIR #4

ARCHITECTURAL CONT.	
A600	ENLARGED UNIT PLANS
A601	ENLARGED UNIT PLANS
A602	ENLARGED UNIT PLANS
A603	ENLARGED UNIT PLANS
A650	ENLARGED PLANS AND ELEVATIONS
A661	ENLARGED COURTYARD PLAN
A710	1ST FLOOR RCP
A720	2ND FLOOR RCP
A730	3RD FLOOR RCP
A740	4TH FLOOR RCP
A750	5TH FLOOR RCP
A760	6TH FLOOR RCP
A770	7TH FLOOR RCP
A980	BIKE RACK DETAILS
A990	BIKE RACK DETAILS
STRUCTURAL	

MECHANICAL	
M001	GENERAL NOTES SCHEDULE AND LEGENDS
M002	GENERAL NOTES SCHEDULE AND LEGENDS
M003	GENERAL NOTES SCHEDULE AND LEGENDS
M004	EQUIPMENT SCHEDULE
M110	1ST FLOOR PLAN
M120	2ND FLOOR PLAN
M130	3RD FLOOR PLAN
M140	4TH FLOOR PLAN
M150	5TH FLOOR PLAN
M160	6TH FLOOR PLAN
M170	7TH FLOOR PLAN
M180	ROOF PLAN
PLUMBING	

ELECTRICAL	
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CLIENT NAME:
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME:
UNCOMMON ETHEL

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER:
2234

DATE:
5.31.2023

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
G000

DRAWING SET TITLE:
ENTITLEMENT SET

ARCHITECTURAL ABBREVIATIONS

Ø	AT	FLR	FLOOR	P	PROPERTY LINE
Ø	DIAMETER	FMC	FLOOR MATERIAL CHANGE	PIP	PROTECT IN PLACE
AB	ANCHOR BOLT	FOC	FACE OF CONCRETE	PLAM	PLASTIC LAMINATE
A/C	AIR CONDITIONING	FOF	FACE OF FINISH	PT	PAINT
ACT	ACOUSTIC CEILING TILE	FOM	FACE OF MASONRY	PTD	PAINTED
ADA	AMERICANS WITH DISABILITIES ACT	FOS	FACE OF STUD	QTY	QUANTITY
		FR	FIRE RESISTIVE		
		FS	FINISH SURFACE		
ADJ	ADJACENT	GA	GAGE	R	RADIUS or RISER
AF	ABOVE FINISH FLOOR	GB	GALVANIZED	RCP	REFLECTED CEILING PLAN
ALT	ALTERNATE	GBV	GRAB BAR	RD	ROOF DRAIN
ALUM	ALUMINUM	GC	GENERAL CONTRACTOR	REF	REFRIGERATOR
APPROX	APPROXIMATELY	GYP	GYP SUM BOARD	REQ'D	REQUIRED
ARCH	ARCHITECT	HS	HOSE BIBB	REV	REVISION or REVISED
		HB	HOLLOW CORE	RM	ROOM
BD	BOARD	HC	HOLLOW CORE WOOD	ROW	RIGHT OF WAY
BF	BRACE FRAME	HDR	HEADER	RRM	RESTROOM
BLK	BLOCK	HM	HOLLOW METAL		
BM	BEAM	HR	HANDRAIL	SC	SOLID CORE
BTWN	BETWEEN	HT	HEIGHT	SCW	SOLID CORE WOOD
		HT	HEIGHT	SF	SQUARE FEET
Ĉ B	CABINET	INS	INSULATION	SHT	SHEET
	CENTER LINE	INT	INTERIOR	SHTG	SHEATHING
CL	CLOSET	JST	JOIST	SIM	SIMILAR
CLG	CEILING	LAM	LAMINATE	SL	SLOPE
CLR	CLEAR	LAV	LAVATORY	ST STL	STAINLESS STEEL
CMU	CONCRETE MASONRY UNIT	LIN	LINOLEUM	STL	STEEL
COL	COLUMN	MAX	MAXIMUM	STRUCT	STRUCTURAL
CONC	CONCRETE	MECH	MECHANICAL		
CONT	CONTINUOUS	MFR	MANUFACTURER	T	TREAD
CONTR	CONTRACTOR	MIN	MINIMUM	TBD	TO BE DETERMINED
CPT	CARPET	MISC	MISCELLANEOUS	TH	THRESHOLD
CRS	COURSES	MO	MASONRY OPENING	THK	THICK
CT	CERAMIC TILE	MTD	MOUNTED	TJ	TRUSS JOIST
		MTL	METAL	TO	TOP OF
(D)	DEMOLISH	N	NOTE	TOC	TOP OF CONCRETE
DAS	DISABLED ACCESS	(N)	NOT IN CONTRACT	TOP	TOP OF PLATE
DBL	DOUBLE	NIC	NOT TO SCALE	TOS	TOP OF SLAB
DIA	DIAMETER	NTS	NOT TO SCALE	TOSHTG	TOP OF SHEATHING
DIM	DIMENSION	OC	ON CENTER	TOW	TOP OF WALL
DN	DOWN	OFCI	OWNER FURNISHED- CONTRACTOR INSTALLED	TYP	TYPICAL
DS	DOWNSPOUT	OFOI	OWNER FURNISHED- OWNER INSTALLED	UNO	UNLESS NOTED OTHERWISE
DWG	DRAWING	OFVI	OWNER FURNISHED- VENDOR INSTALLED	VCT	VINYL COMPOSITION TILE
		OH	OVERHEAD	VERT	VERTICAL
(E)	EXISTING	OPNG	OPENING	VIF	VERIFY IN FIELD
ELECT	ELECTRICAL			W/	WITH
ELEV	ELEVATOR			WC	WATER CLOSET
EQ	EDGE OF SLAB			WD	WOOD
EOS	EQUAL			WH	WATER HEATER
EXT	EXTERIOR			WP	WATERPROOF
FE	FIRE EXTINGUISHER			WPT	WORK POINT
FF	FINISH FLOOR				
FIN	FINISH				
FJ	FLOOR JOIST				

ARCHITECTURAL SYMBOLS

	DETAIL		WINDOW MARK		ALIGN FINISHES
	BUILDING SECTION		DOOR MARK		SMOKE DETECTOR
	WALL SECTION		WALL TYPE		FIRE EXTINGUISHER
	INTERIOR ELEVATION		WORK POINT		AREA DRAIN
	EXTERIOR ELEVATION		NOTE		FLOOR DRAIN
	ELEVATION MARK		ACCESSIBLE PATH OF TRAVEL		FLOOR MATERIAL TRANSITION
			FENCE		SECURITY OPENING
			EXIT SIGN		

LADBS APPROVAL STAMP

OPEN SPACE CALCULATIONS

TOTAL OPEN SPACE REQUIREMENTS PER LAMC 12.21.G:

<3 HABITABLE ROOMS = 100 SF / UNIT (STUDIOS & 1BR UNITS)

<3 HABITABLE ROOMS = 125 SF / UNIT (2BR UNITS)

<3 HABITABLE ROOMS = 175 SF / UNIT (3BR UNITS)

OPEN SPACE REQUIRED			
UNIT TYPE	HABITABLE ROOMS	# OF UNITS	REDD OPEN SPACE
1 BR	2	172	17,200 SF
2 BR	3	22	2,750 SF
3 BR	4	1	175 SF
STUDIO	1	5	500 SF
GRAND TOTAL		200	20,625 SF

PROJECT SEEKS A 58.2% REDUCTION OF OPEN SPACE PER LAMC 12.22.A.25

REQUIRED OPEN SPACE = 20,625 SF X 50% = 10,312.50 SF

50% MIN COMMON OPEN SPACE = 10,312.50 SF X 50% = 5,156.25 SF

25% OF COMMON OPEN SPACE SHALL BE PLANTED = 10,312.50 SF X 25% = 2,578.125 SF

TREE REQUIREMENTS:

(1) 24" BOX TREE FOR EVERY 4 UNITS 200 UNITS = 50 TREES

(1) 24" BOX TREE FOR EVERY 500 SF FRONT YARD LANDSCAPING 1,830 SF = 4 TREES

NOTES:

1. A KITCHEN IS NOT CONSIDERED A HABITABLE ROOM FOR THE PURPOSES OF CALCULATING OPEN SPACE

2. PER LAMC 12.21.G.2(a)(1)(ii) COMMON OPEN SPACE MUST HAVE MINIMUM AREA OF 400 SF WITH NO HORIZONTAL DIMENSIONS LESS THAN 15' WHEN MEASURED PERPENDICULAR FROM ANY POINT ON EACH OF THE BOUNDARIES.

OPEN SPACE PROVIDED			
NAME	TYPE	LEVEL	AREA
COMMON OPEN SPACE	1ST FL FFE		7,190 SF
COMMON OPEN SPACE	3RD FL FFE		4,710 SF
COMMON OPEN SPACE			11,930 SF
GRAND TOTAL			11,930 SF

PLANTED OPEN SPACE = 3,460 SF

OCCUPANCY AREA CALCULATIONS

UNIT SCHEDULE & AFFORDABILITY

UNIT SCHEDULE						
NAME	NUMBER OF BEDROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED PARKING	AREA	Level
1 BR	1	36	3,600 SF	0	14,290 SF	3RD FL FFE
1 BR	1	34	3,400 SF	0	13,440 SF	4TH FL FFE
1 BR	1	34	3,400 SF	0	13,434 SF	5TH FL FFE
1 BR	1	34	3,400 SF	0	13,440 SF	6TH FL FFE
1 BR	1	34	3,400 SF	0	13,434 SF	7TH FL FFE
1 BR-172		172	17,200 SF	0	68,053 SF	
2 BR	2	2	250 SF	0	1,161 SF	3RD FL FFE
2 BR	2	5	625 SF	0	2,891 SF	4TH FL FFE
2 BR	2	5	625 SF	0	2,882 SF	5TH FL FFE
2 BR	2	5	625 SF	0	2,882 SF	6TH FL FFE
2 BR	2	5	625 SF	0	2,882 SF	7TH FL FFE
2 BR-22		22	2,750 SF	0	13,099 SF	
3 BR	3	1	175 SF	0	785 SF	3RD FL FFE
3 BR-1		1	175 SF	0	785 SF	
STUDIO	0	1	100 SF	0	361 SF	3RD FL FFE
STUDIO	0	1	100 SF	0	361 SF	4TH FL FFE
STUDIO	0	1	100 SF	0	361 SF	5TH FL FFE
STUDIO	0	1	100 SF	0	361 SF	6TH FL FFE
STUDIO	0	1	100 SF	0	361 SF	7TH FL FFE
STUDIO-5		5	500 SF	0	1,803 SF	
Grand total:	200	200	20,625 SF	0	83,739 SF	

ZONING CODE AREA CALCULATIONS

RESIDENTIAL FLOOR AREA RATIO DEFINITION PER LAMC 12.03:

A RATIO ESTABLISHING THE RELATIONSHIP BETWEEN A PROPERTY AND THE AMOUNT OF DEVELOPMENT PERMITTED FOR THAT PROPERTY, EXPRESSED AS A PERCENTAGE OR A RATIO OF THE LOT SIZE

BASE ALLOWABLE RFRAR PER LAMC 12.08.1: 45% OF LOT SIZE PER LA R1-1 ZONE

TOTAL ALLOWABLE FLOOR AREA: LOT AREA X ALLOWABLE FAR = ALLOWABLE FLOOR AREA 41,810 SF X 45% = 18,814.50 SF ALLOWED

AREA SCHEDULE (FLOOR AREA)			
LEVEL	FAR	AREA	MISC
1ST FL FFE	MISC	3,363 SF	
2ND FL FFE	MISC	2,669 SF	
3RD FL FFE	MISC	1,965 SF	
4TH FL FFE	MISC	1,971 SF	
5TH FL FFE	MISC	1,971 SF	
6TH FL FFE	MISC	1,971 SF	
7TH FL FFE	MISC	1,971 SF	
MISC		15,068 SF	
1ST FL FFE	PARKING	22,760 SF	
2ND FL FFE	PARKING	22,763 SF	
PARKING		45,523 SF	
3RD FL FFE	RESIDENTIAL	16,804 SF	
4TH FL FFE	RESIDENTIAL	17,168 SF	
5TH FL FFE	RESIDENTIAL	17,168 SF	
6TH FL FFE	RESIDENTIAL	17,168 SF	
7TH FL FFE	RESIDENTIAL	17,168 SF	
RESIDENTIAL		85,476 SF	
GRAND TOTAL		146,896 SF	

TOTAL PROVIDED FLOOR AREA: 146,896 SF

PROJECT SEEKS AN OFF-MENU REQUEST TO ALLOW 782% RFRAR

RESIDENTIAL FLOOR AREA RATIO (RFRAR) DEFINITION PER LAMC 12.03:

THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A RESIDENTIAL OR NON-RESIDENTIAL BUILDING ON A LOT IN AN RA, RE, RS, OR R1 ZONE. ANY FLOOR OR PORTION OF A FLOOR WITH A CEILING HEIGHT GREATER THAN 14 FEET SHALL COUNT AS TWICE THE SQUARE FOOTAGE OF THAT AREA. THE AREA OF STAIRWAYS AND ELEVATOR SHAFTS SHALL ONLY BE COUNTED ONCE REGARDLESS OF CEILING HEIGHT. AREA OF AN ATTIC OR PORTION OF AN ATTIC WITH A CEILING HEIGHT OF MORE THAN 7 FEET SHALL BE INCLUDED IN THE RESIDENTIAL FLOOR AREA CALCULATION.

AUTOMOBILE PARKING

ZERO PARKING REQUIRED FOR 100% AFFORDABLE HOUSING DEVELOPMENT WITHIN 1/2 MILE OF MAJOR TRANSIT STOP PER AB1763.

PARKING SCHEDULE (STALL SIZE)		
COMPACT	RESIDENTIAL	48
EV	RESIDENTIAL	19
EV ACCESSIBLE	RESIDENTIAL	2
1ST FL FFE		69
COMPACT	RESIDENTIAL	47
EV	RESIDENTIAL	22
2ND FL FFE		69
Grand total		138

OF WHICH 2% SHALL BE ACCESSIBLE OF WHICH AT LEAST 1 SHALL BE VAN ACCESSIBLE

3 ACCESSIBLE STALLS 1 VAN ACCESSIBLE STALL

OF WHICH 30% SHALL BE EV CAPABLE OF WHICH AT LEAST 10% SHALL BE EV INSTALLED

43 EV CAPABLE STALLS 15 EV STALLS WITH CHARGERS

BICYCLE PARKING

BICYCLE PARKING REQUIRED PER LAMC 12.21.A.16:

LONG TERM PARKING: UNITS 1-25: 1 STALL PER UNIT UNITS 26-100: 1 STALL PER 1.5 UNITS UNITS 101-200: 1 STALL PER 2 UNITS 125 STALLS REQUIRED

SHORT TERM PARKING: UNITS 1-25: 1 STALL PER 10 UNITS UNITS 26-100: 1 STALL PER 15 UNITS UNITS 101-200: 1 STALL PER 20 UNITS 13 STALLS REQUIRED

BICYCLE PARKING PROVIDED:

LONG TERM PARKING: 85 STALLS PROJECT SEEKS WAIVER

SHORT TERM PARKING: 12 STALLS

BUILDING CODES USED

2023 LOS ANGELES MUNICIPAL CODE (LAMC)	2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA BUILDING CODE (CBC)	2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)	2022 CALIFORNIA GREEN BUILDING CODE (CGBC)
2022 CALIFORNIA MECHANICAL CODE (CMC)	
2022 CALIFORNIA PLUMBING CODE (CPC)	

SEPARATE PERMITS

MECHANICAL	FIRE SPRINKLER SYSTEM
ELECTRICAL	BLOCK WALL
PLUMBING	
FIRE ALARM SYSTEM	

DEFERRED SUBMITTALS

FIRE ALARM SYSTEM
FIRE SPRINKLER SYSTEM
MECHANICAL
ELECTRICAL
PLUMBING

PROJECT INFORMATION

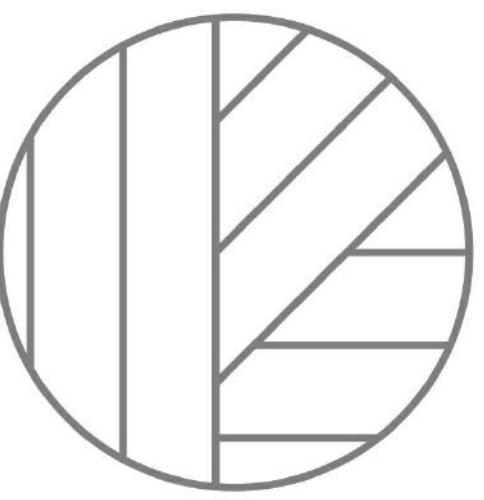
PROJECT NAME:	UNCOMMON ETHEL
ADDRESS:	5511 ETHEL AVE SHERMAN OAKS, CA 91401
ENTITLEMENTS:	NOT YET FILED
OWNER:	5511 ETHEL LLC
PROJECT DESCRIPTION:	NEW CONSTRUCTION, 7-STORY, 200-UNIT, 146,896 SF, 100% AFFORDABLE HOUSING DEVELOPMENT SEEKING ON-MENU & OFF-MENU INCENTIVES PER LAMC 12.22.A.25 & AB1763
PROJECT FUNDING:	100% PRIVATELY FUNDED THIS IS NOT A PUBLIC HOUSING FACILITY OWNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT SHALL BE RECEIVED FROM STATE OR FEDERAL GOVERNMENTS. NOT A TCAC FACILITY AND NOT A SOCIAL SERVICE CENTER.
CONSTRUCTION TYPE:	TYPE-IA (1ST-2ND FLOORS) TYPE-IIIa (3RD-7TH FLOORS) 2HR EXIT WALLS PER LASC TABLE 601
OCCUPANCY TYPE:	R-2, A-3 S-2, B
SPRINKLERED:	NFPA-13 PER LAFCO 903.2
FIRE ALARM:	MANUAL ALARM
ACCESSIBILITY:	CBC 11A

ZONING INFORMATION

ZONE:	R1-1
ZONING INFORMATION:	Z1-24R2 MODIFICATIONS TO SF ZONES AND SF ZONE HILLSIDE AREA Z1-24S2 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES
GENERAL PLAN LAND USE:	LOW RESIDENTIAL (RDS DENSITY ALLOWED BY GENERAL PLAN)
ASSESSOR PARCEL NUMBER:	2345-005-016
TRACT:	TR 1000
BLOCK:	NONE
LOT:	88, ABB 19
FLOOD ZONE:	OUTSIDE FLOOD ZONE
METHANE ZONE:	NONE
SITE AREA:	41,810 SF PER SURVEY
REQUIRED SETBACKS:	FRONT: 20'-0" SIDE: 10'-0" (5'-0" + 1' EVERY STORY ABOVE THE 2ND) REAR: 15'-0"
PROVIDED SETBACKS:	FRONT: 20'-0" SIDE: 8'-11" PER LAMC 12.22.A.25 20% REDUCTION REAR: 15'-0"
ALLOWABLE HEIGHT PER LAMC:	28'-0" PER LAMC 12.21.1.A + 33' PER AB1763 = 61'-0"
PROVIDED HEIGHT PER LAMC:	80'-4" SEE ELEVATIONS & SURVEY FOR LOWEST ADJ. GRADE
ALLOWABLE HEIGHT PER LASC:	85'-0" PER LASC TABLE 504.3
PROVIDED HEIGHT PER LASC:	75'-10 1/2" 5 & 8' G016 FOR AVG. GRADE PLANE & ROOF EAL. CALCS
ALLOWABLE FLOOR AREA:	25,399 SF (45% RFRAR PER R1-1 & 35% BONUS PER LAMC 12.22.A.25)
PROVIDED FLOOR AREA:	146,896 SF = 343% RFRAR
ALLOWABLE DENSITY PER GENERAL PLAN:	LOW RESIDENTIAL GENERAL PLAN DESIGNATION PER VAN NUYS - NORTH SHERMAN OAKS COMMUNITY PLAN = RDS DENSITY = 1 UNIT PER 5,000 SF OF LOT AREA
	41,810 / 5,000 = 8.36 ROUND UP = 9 UNITS BASE DENSITY
ALLOWABLE DENSITY PER AB1763:	UNLIMITED
PROVIDED DENSITY:	200 UNITS, 160 HUD LOW INCOME, 39 HCD MODERATE INCOME
REQUIRED PARKING:	NONE WHEN WITHIN 1/2 MILE OF MAJOR TRANSIT STOP, SEE G075 FOR TRANSIT VERIFICATION FORM
PROVIDED PARKING:	138 STALLS, SEE PARKING SECTION

INCENTIVES REQUESTED

BASE INCENTIVES (3):
ZERO PARKING WHEN WITHIN 1/2 MILE OF MAJOR TRANSIT STOP PER AB1763 UNLIMITED DENSITY PER AB1763
ADDITIONAL INCENTIVES (3):
20% REDUCTION IN SIDE YARD PER LAMC 12.22.A.25
20% FRONT YARD REDUCTION PER LAMC 12.22.A.25
58.7% REDUCTION IN REQUIRED OPEN SPACE PER LAMC 12.22.A.25
WAIVER OF DEVELOPMENT STANDARDS (1):
WAIVER TO ALLOW 28.4% REDUCTION IN BICYCLE PARKING WAIVER OF HEIGHT REQUIREMENT TO ALLOW 80'-4" BUILDING HEIGHT WAIVER OF FAR/RFRAR REQUIREMENT TO ALLOW 782% INCREASE IN RFRAR WAIVER OF R-1 ENCROACHMENT PLANE REQUIREMENT



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UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
**UNCOMMON
ETHEL**

NOT FOR CONSTRUCTION

PROJECT ADDRESS
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
**SITE PHOTOS &
EXISTING CONDITIONS**

SHEET NUMBER
G002

DRAWING SET TITLE
ENTITLEMENT SET



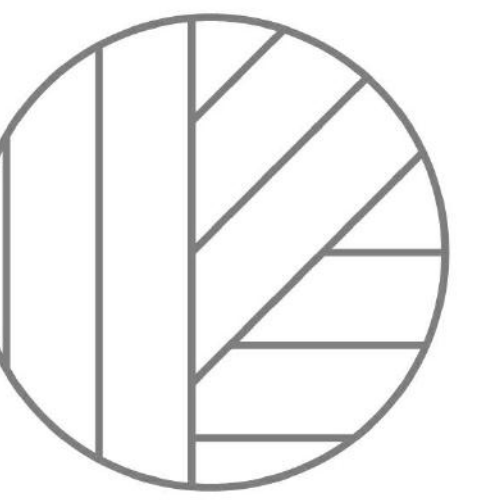
CORNER VIEW NTS 3



CORNER VIEW NTS 2



CORNER VIEW NTS 1



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CLIENT NAME:
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME:
**UNCOMMON
ETHEL**

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER:
2234

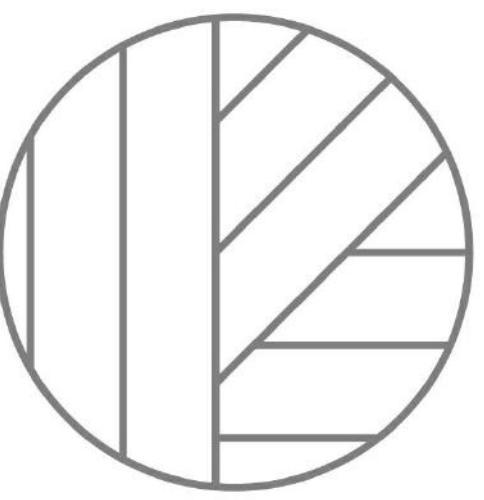
DATE:
5.31.2023

SHEET TITLE:
RENDERINGS

SHEET NUMBER:
G003

DRAWING SET TITLE:
ENTITLEMENT SET

6/20/2023 2:42:19 PM



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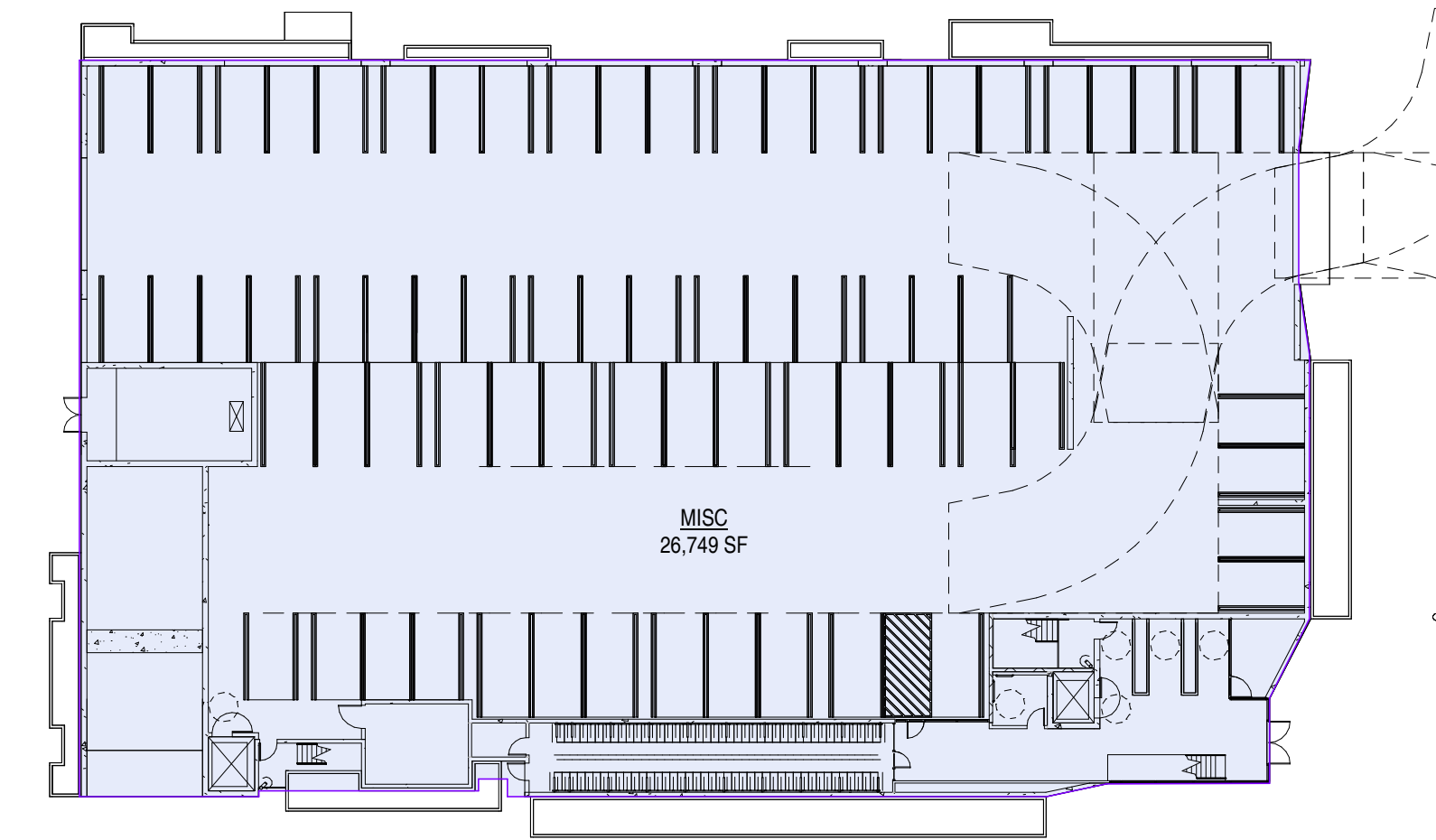
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CALCULATIONS**

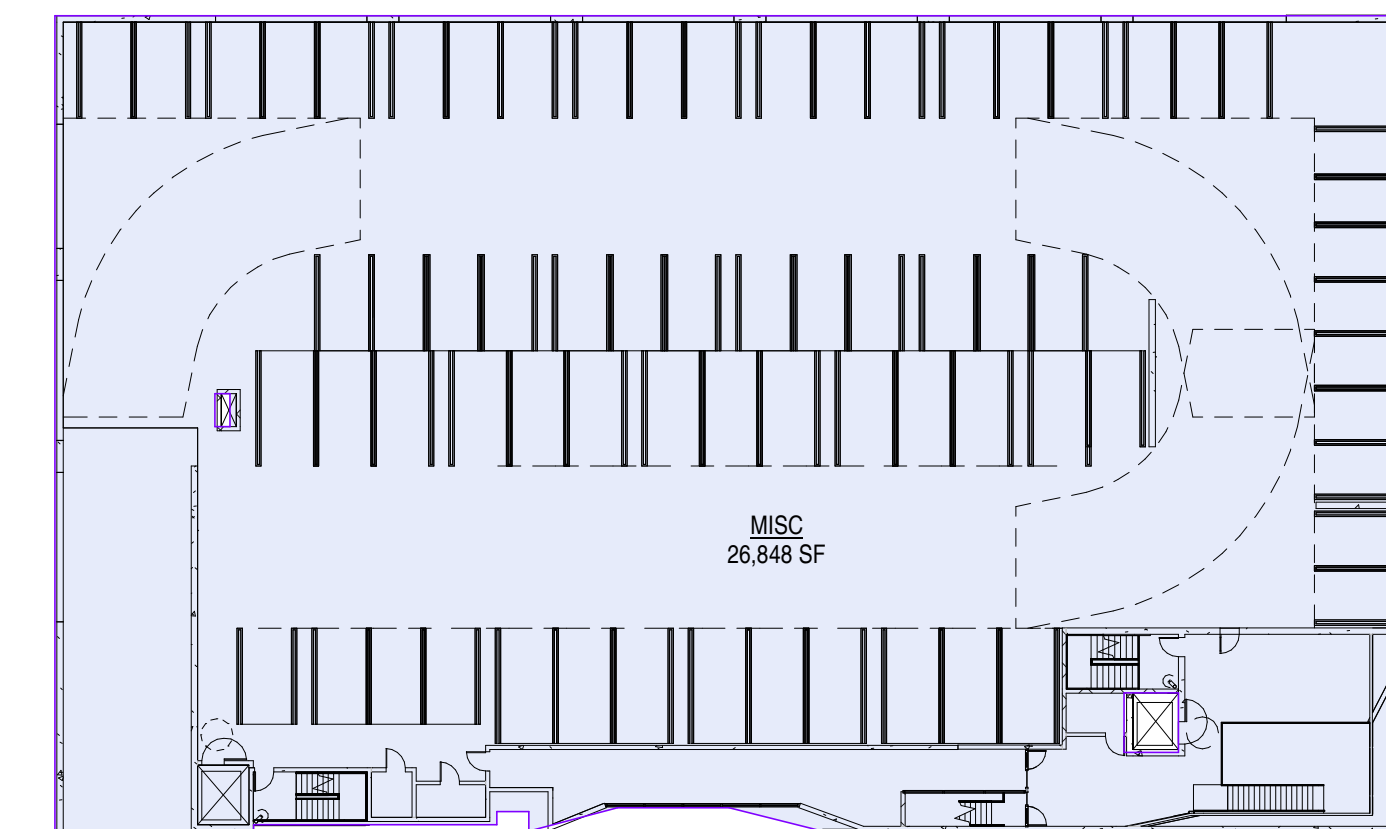
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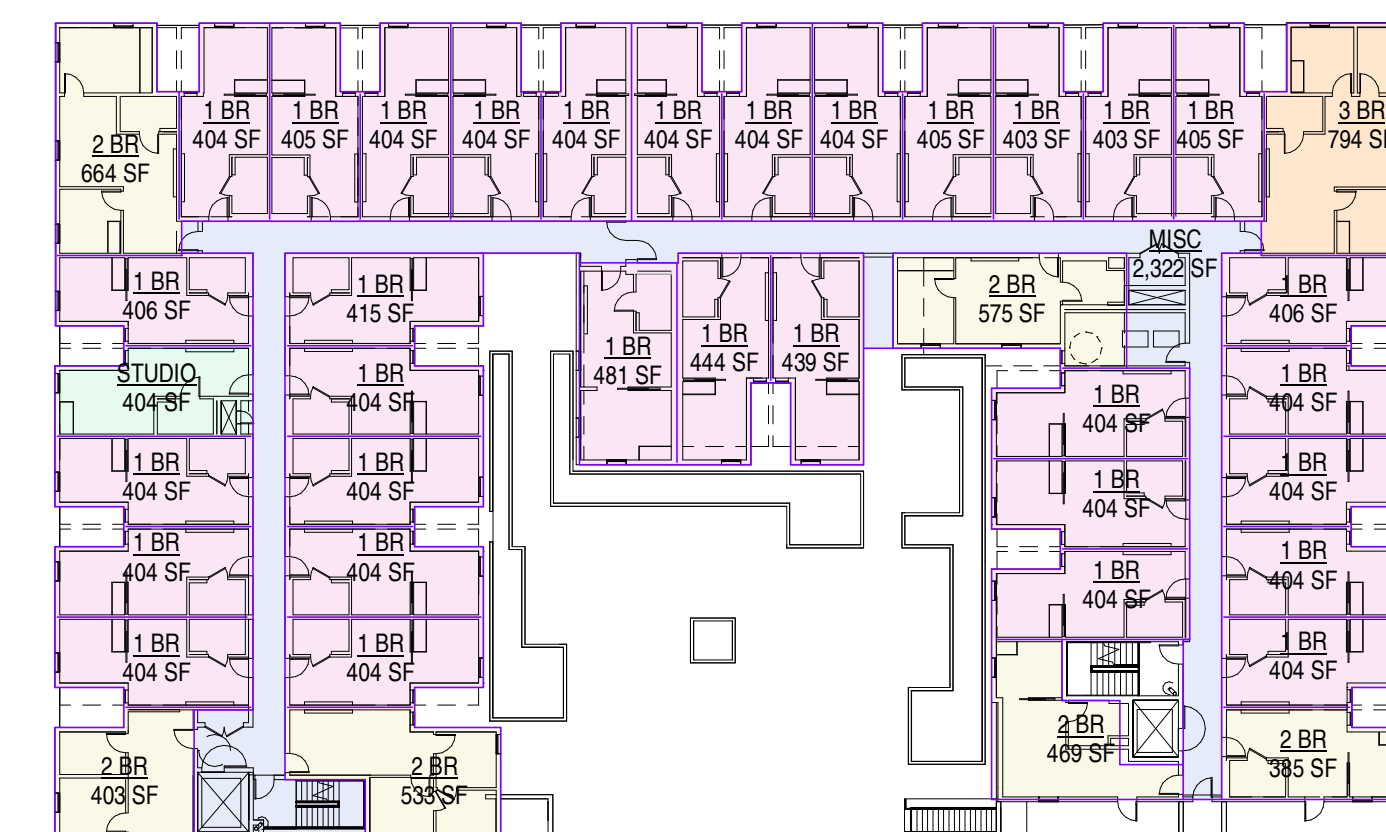
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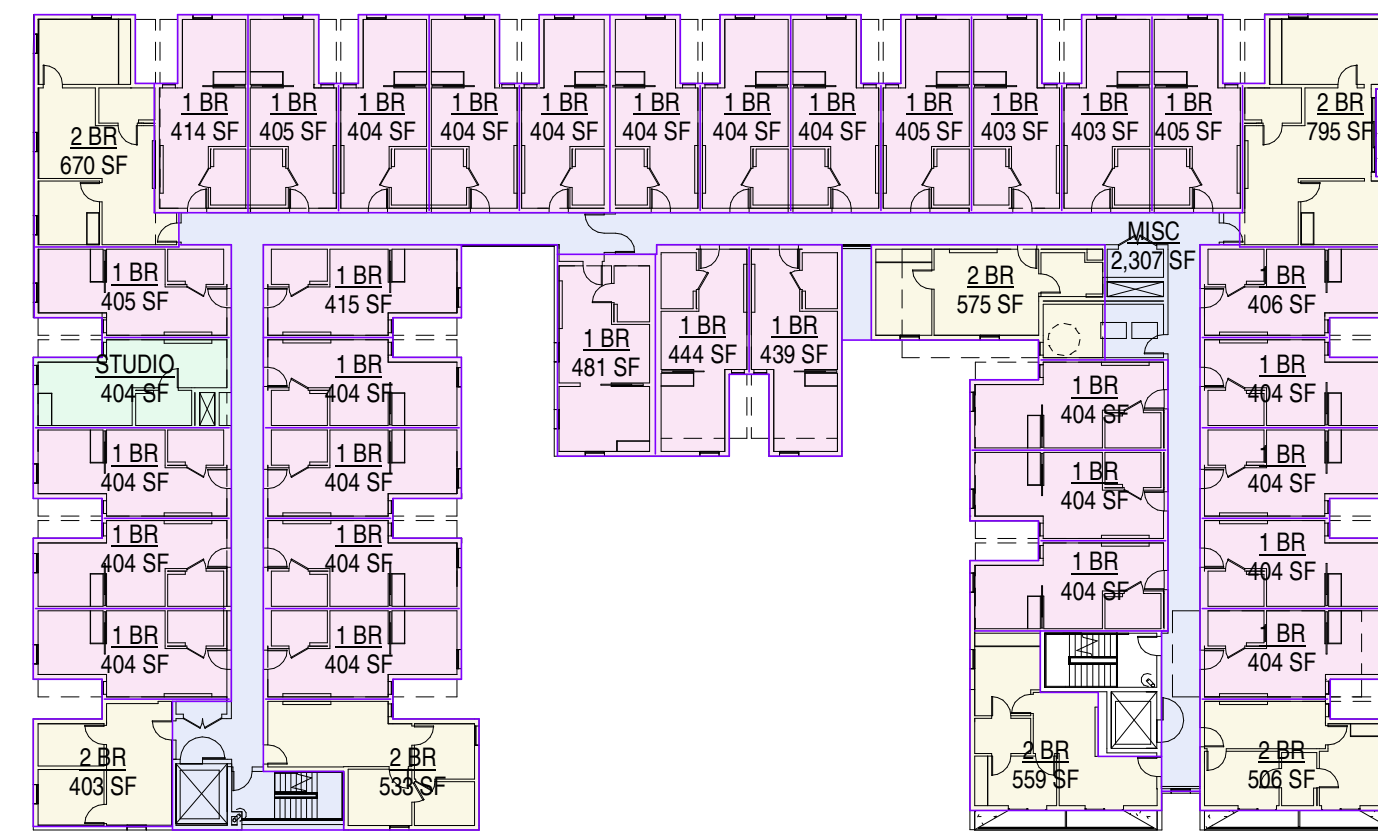
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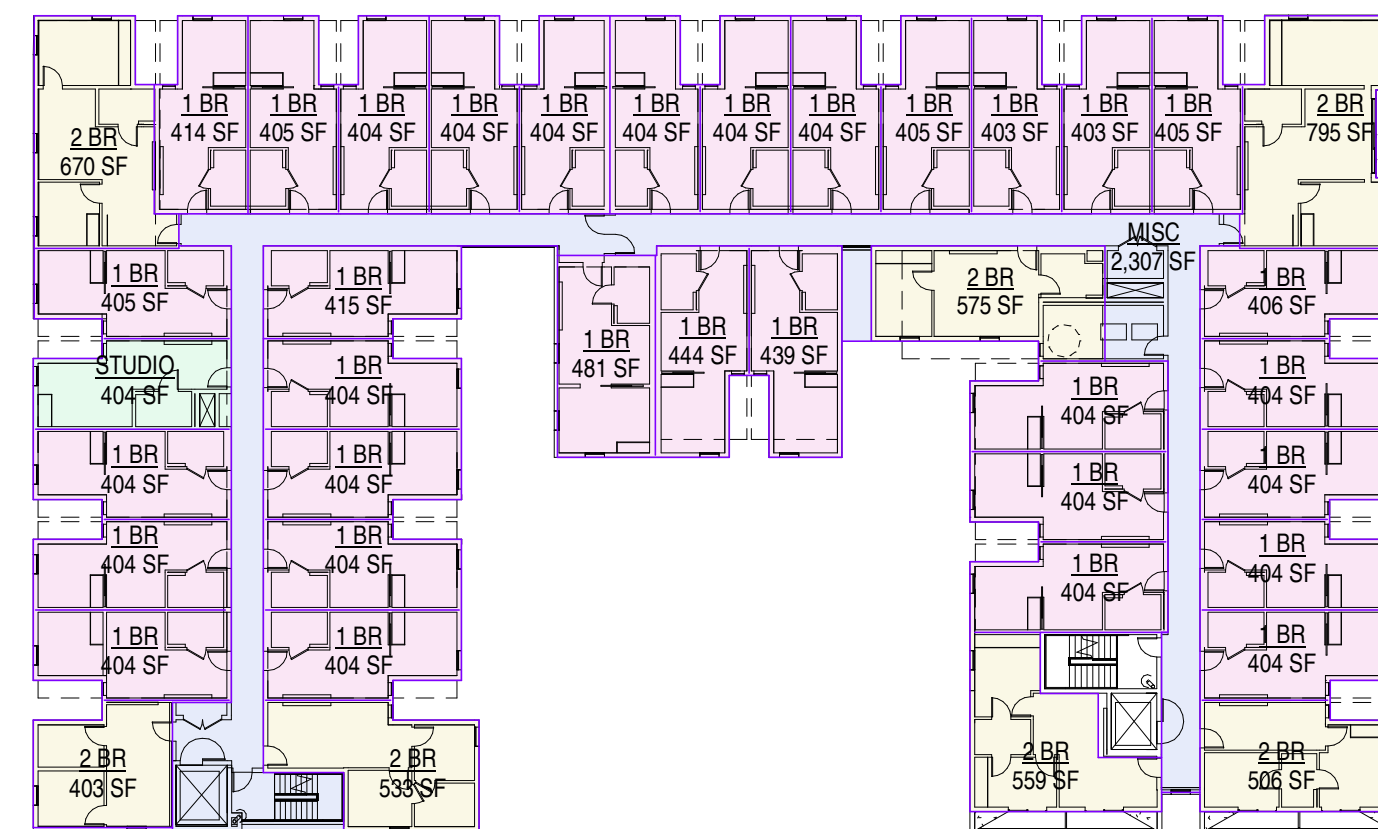
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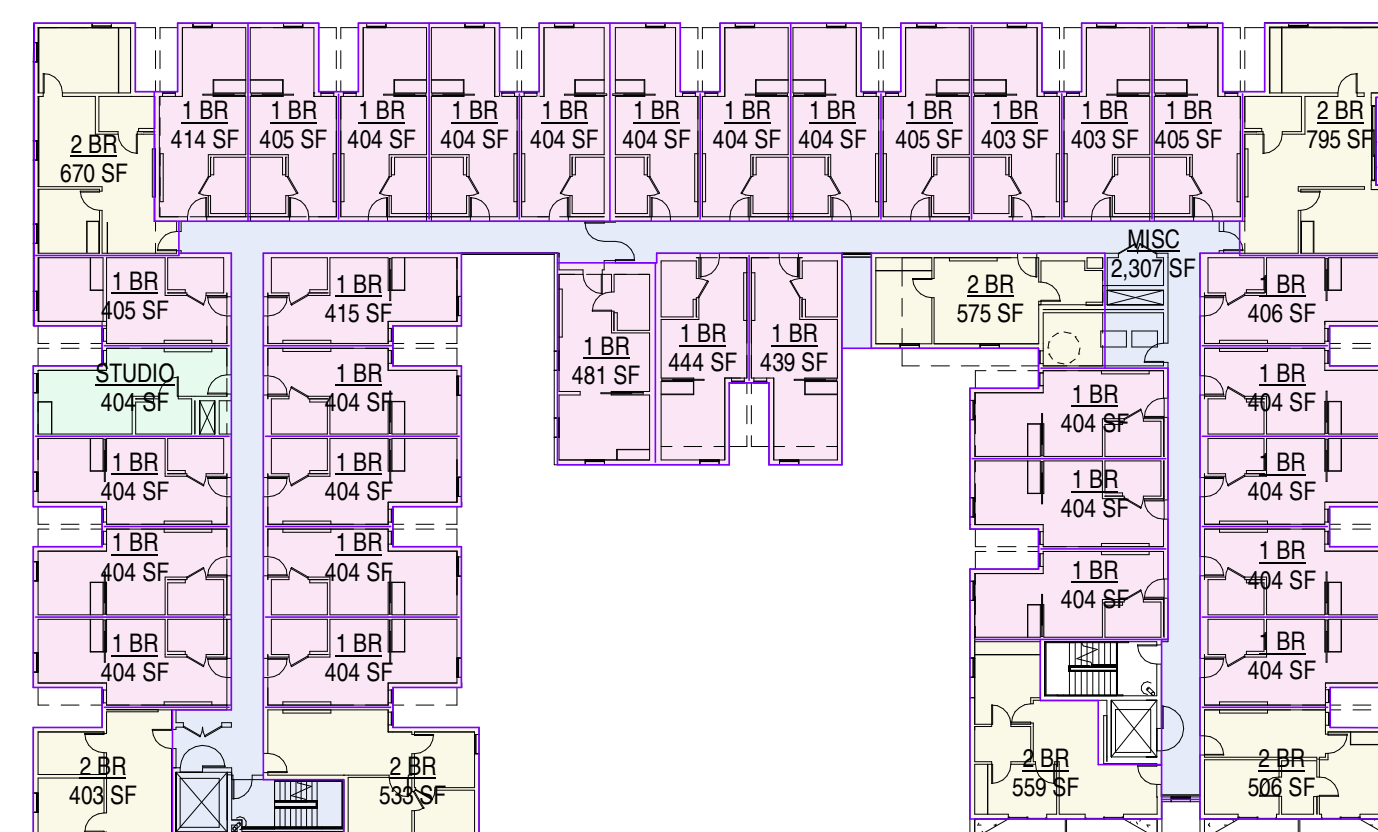
3RD FL DIAGRAM 1" = 30'-0" 3



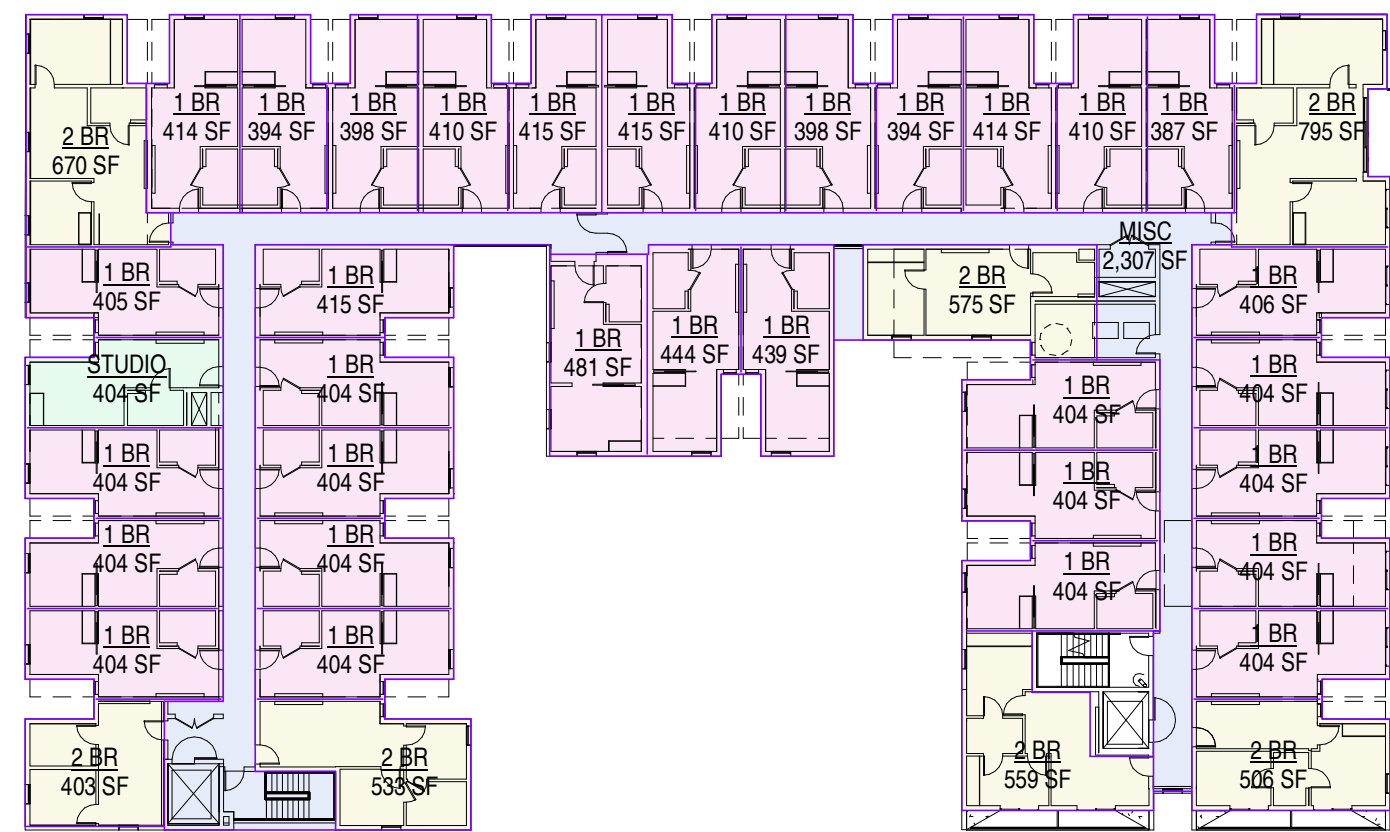
4TH FL DIAGRAM 1" = 30'-0" 4



5TH FLOOR DIAGRAM 1" = 30'-0" 5



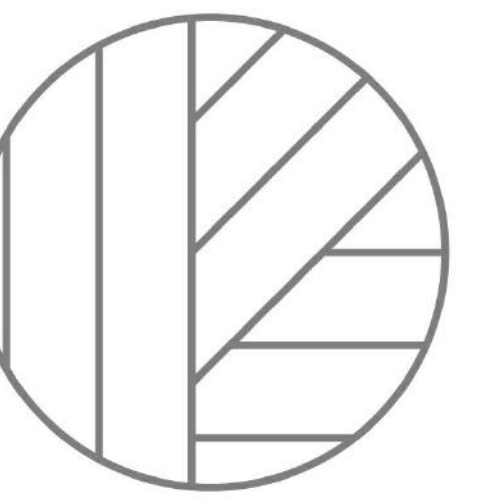
6TH FL DIAGRAM 1" = 30'-0" 6



7TH FL DIAGRAM 1" = 30'-0" 7

AREA SCHEDULE (BUILDING AREA)			
TYPE	LEVEL	AREA	TYPE OF CONSTRUCTION
1 BR	3RD FL FFE	13,088 SF	
1 BR	4TH FL FFE	13,106 SF	
1 BR	5TH FL FFE	13,106 SF	
1 BR	6TH FL FFE	13,106 SF	
1 BR	7TH FL FFE	13,106 SF	
		65,524 SF	
2 BR	3RD FL FFE	3,028 SF	
2 BR	4TH FL FFE	4,041 SF	
2 BR	5TH FL FFE	4,041 SF	
2 BR	6TH FL FFE	4,041 SF	
2 BR	7TH FL FFE	4,041 SF	
		18,192 SF	
3 BR	3RD FL FFE	794 SF	
		794 SF	
MISC	1ST FL FFE	26,749 SF	
MISC	2ND FL FFE	26,848 SF	
MISC	3RD FL FFE	2,307 SF	
MISC	4TH FL FFE	2,307 SF	
MISC	5TH FL FFE	2,307 SF	
MISC	6TH FL FFE	2,307 SF	
MISC	7TH FL FFE	2,307 SF	
		85,147 SF	
STUDIO	3RD FL FFE	404 SF	
STUDIO	4TH FL FFE	404 SF	
STUDIO	5TH FL FFE	404 SF	
STUDIO	6TH FL FFE	404 SF	
STUDIO	7TH FL FFE	404 SF	
		2,020 SF	
GRAND TOTAL		152,677 SF	

7TH FL DIAGRAM 1" = 30'-0" 7

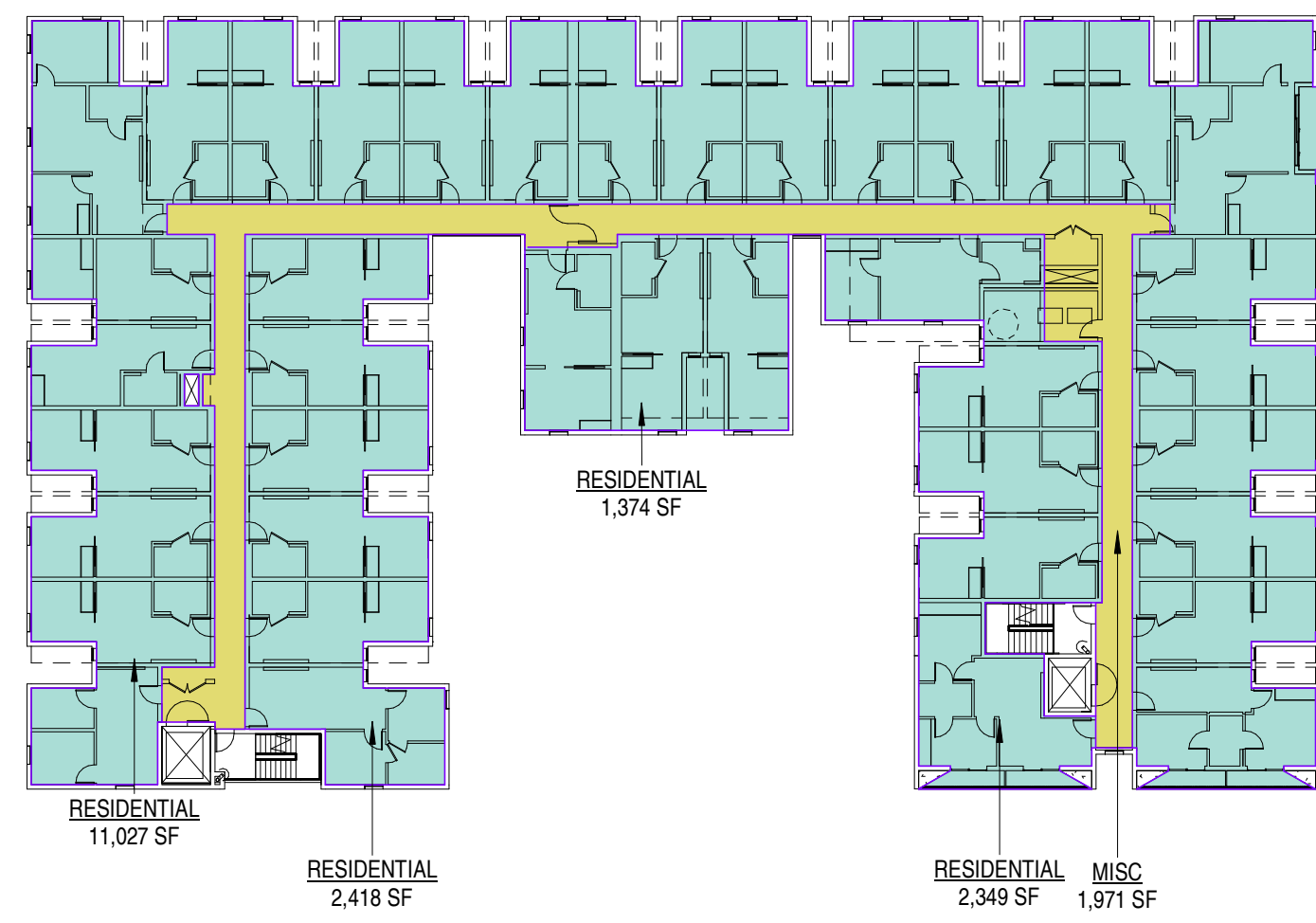


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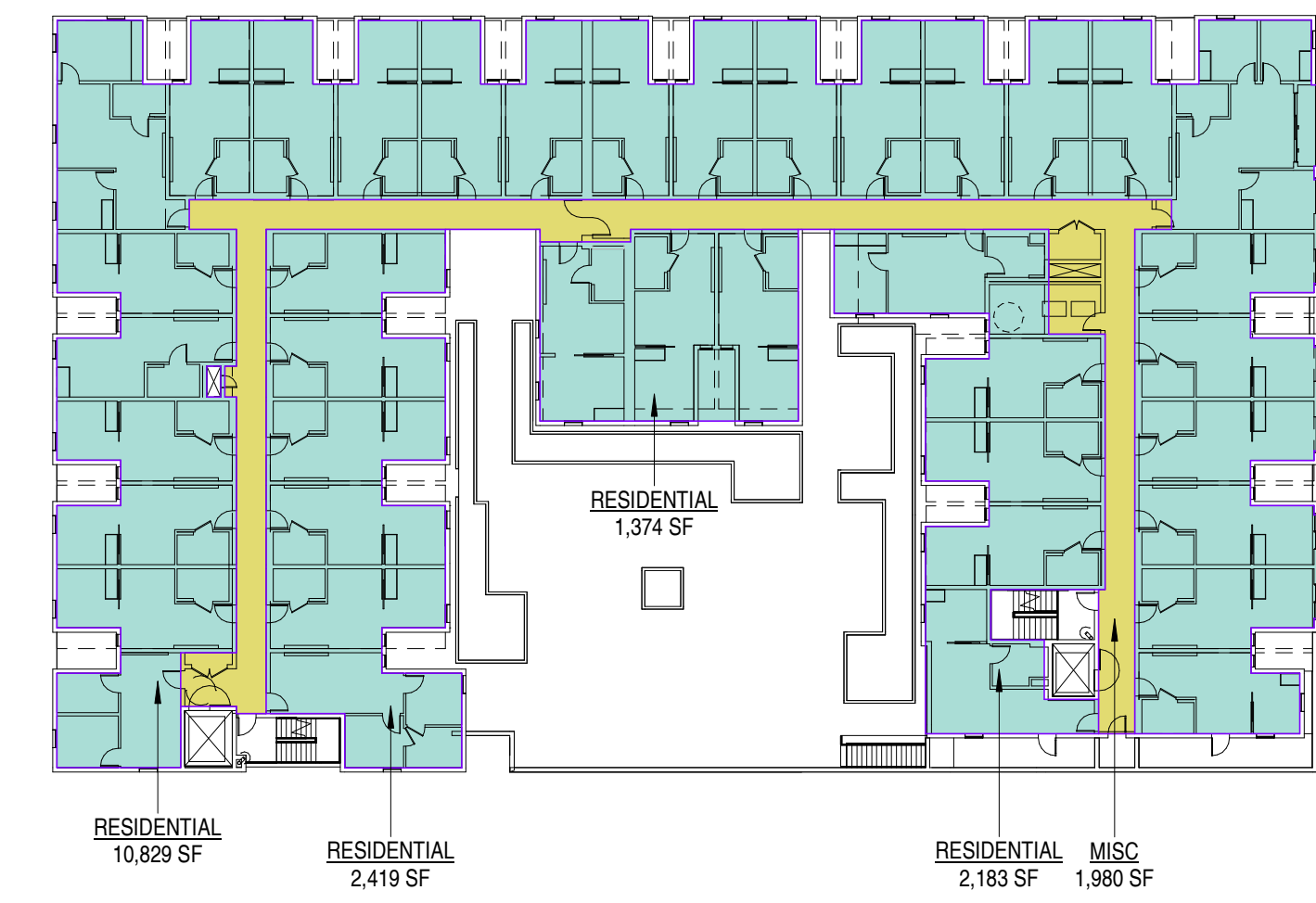
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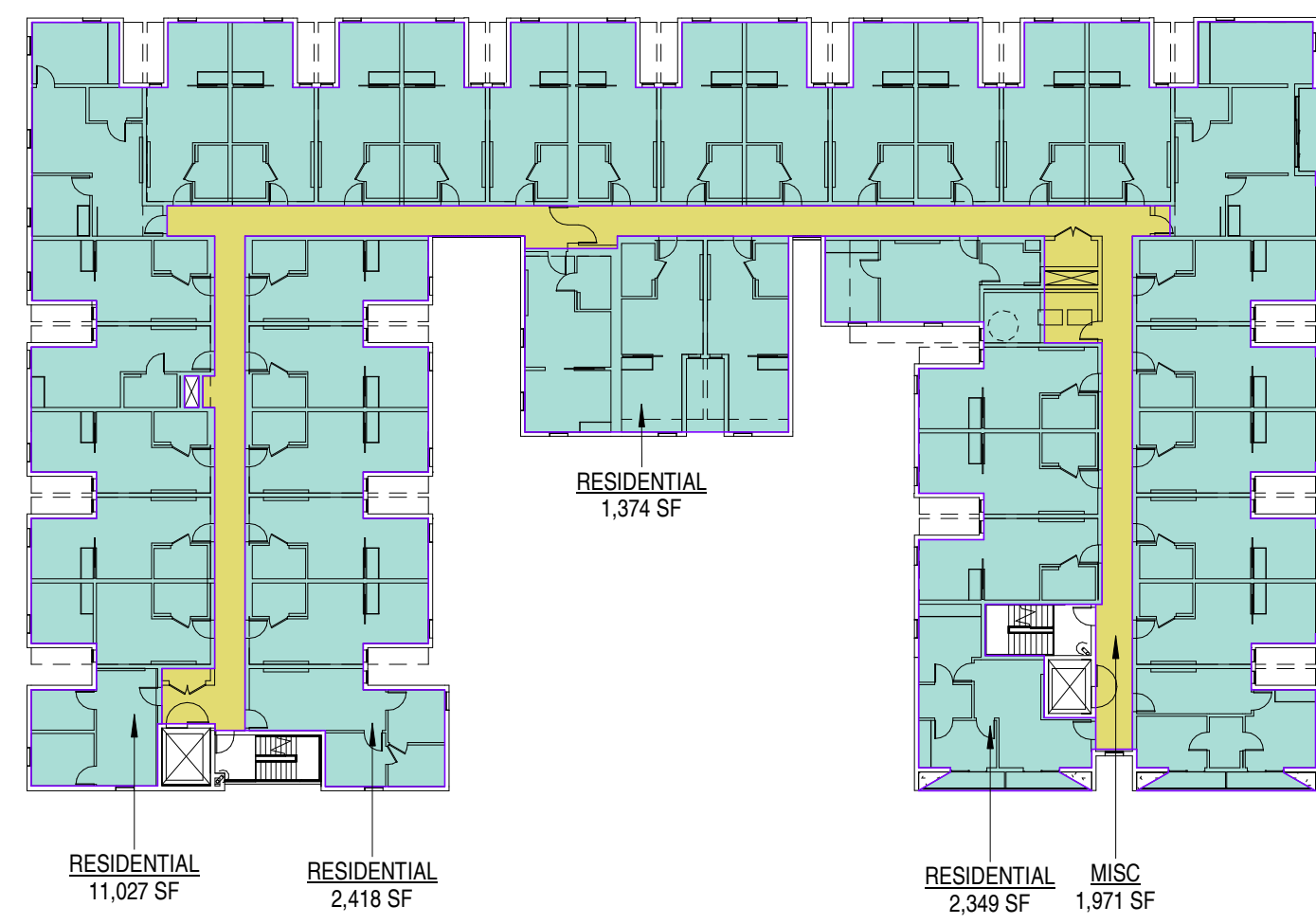


6TH FLOOR FAR DIAGRAM 1" = 30'-0" 6

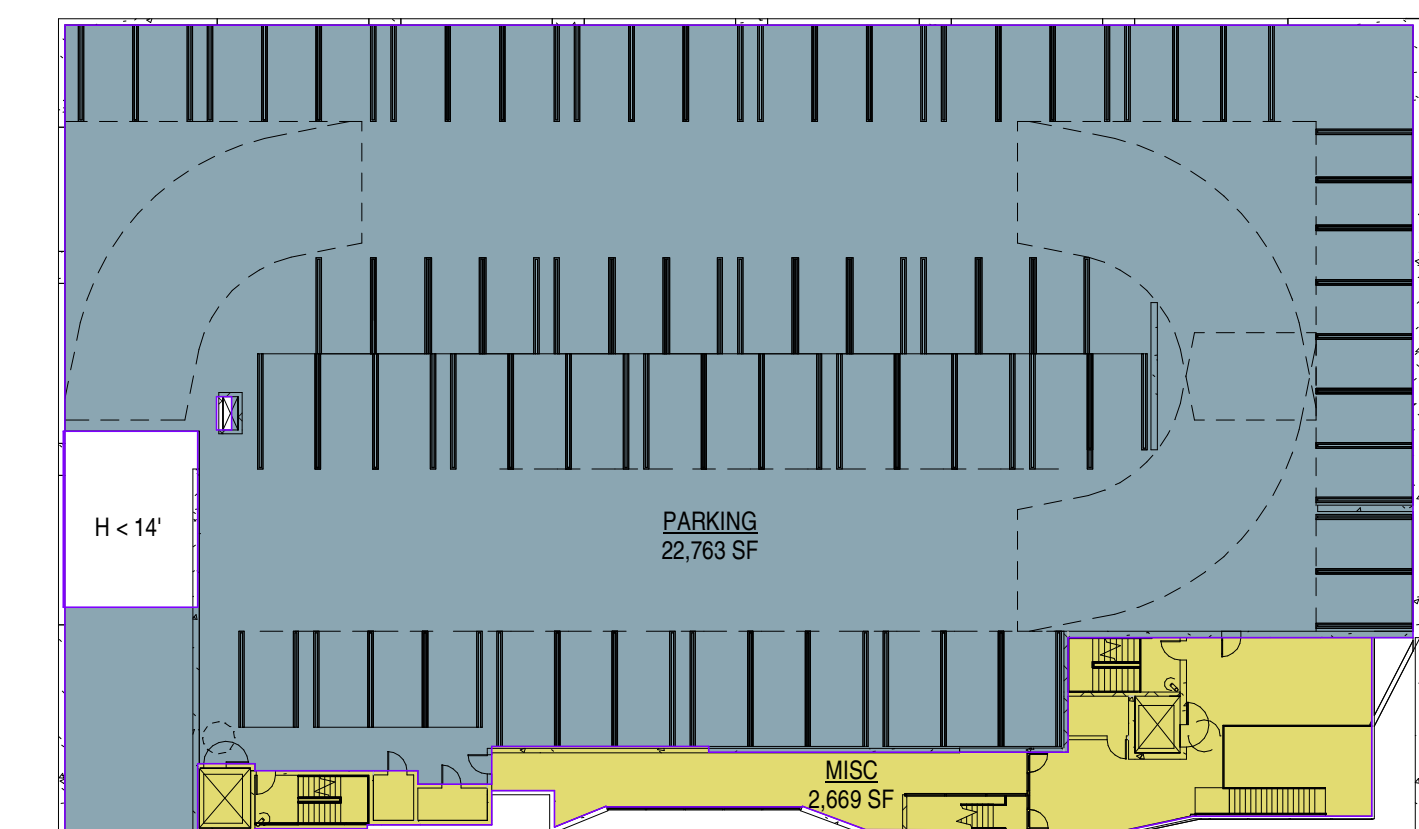


3RD FLOOR FAR DIAGRAM 1" = 30'-0" 3

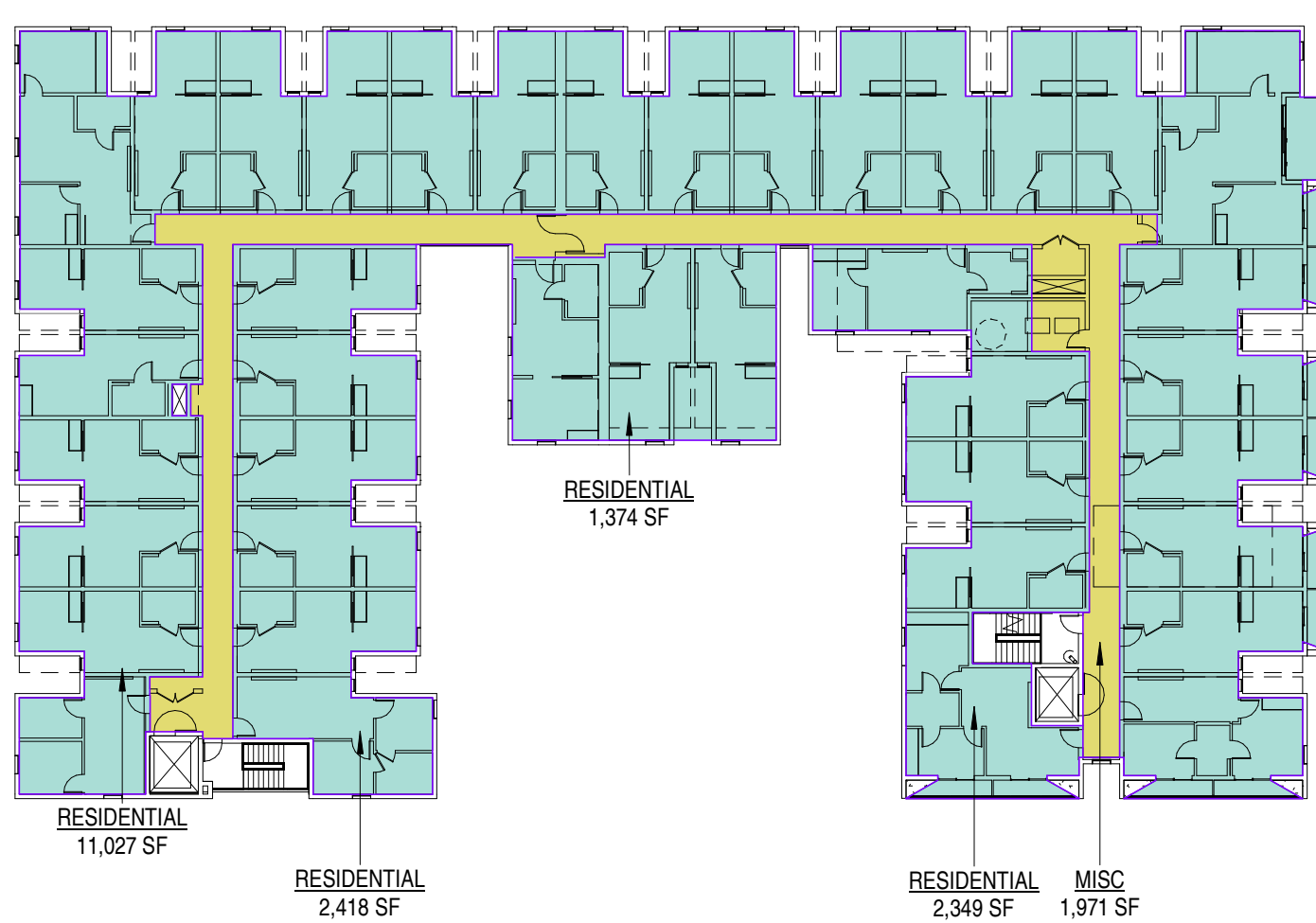
AREA SCHEDULE (FLOOR AREA)			
LEVEL	FAR	AREA	
1ST FL FFE	MISC	3,363 SF	
2ND FL FFE	MISC	2,669 SF	
3RD FL FFE	MISC	1,980 SF	
4TH FL FFE	MISC	1,971 SF	
5TH FL FFE	MISC	1,971 SF	
6TH FL FFE	MISC	1,971 SF	
7TH FL FFE	MISC	1,971 SF	
MISC		15,895 SF	
1ST FL FFE	PARKING	22,780 SF	
2ND FL FFE	PARKING	22,783 SF	
PARKING		45,523 SF	
3RD FL FFE	RESIDENTIAL	16,804 SF	
4TH FL FFE	RESIDENTIAL	17,168 SF	
5TH FL FFE	RESIDENTIAL	17,168 SF	
6TH FL FFE	RESIDENTIAL	17,168 SF	
7TH FL FFE	RESIDENTIAL	17,168 SF	
RESIDENTIAL		85,478 SF	
GRAND TOTAL		146,896 SF	



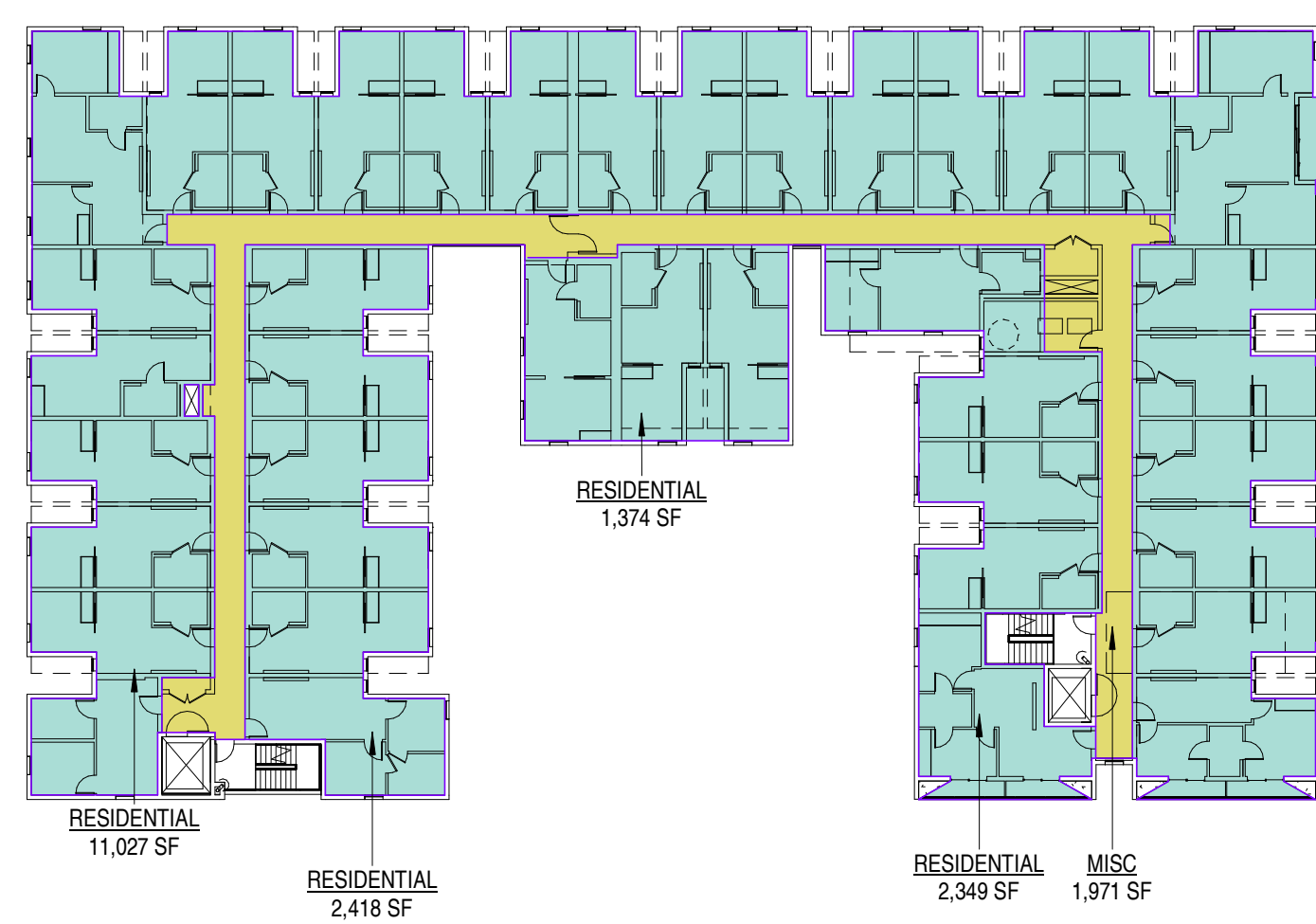
5TH FLOOR FAR DIAGRAM 1" = 30'-0" 5



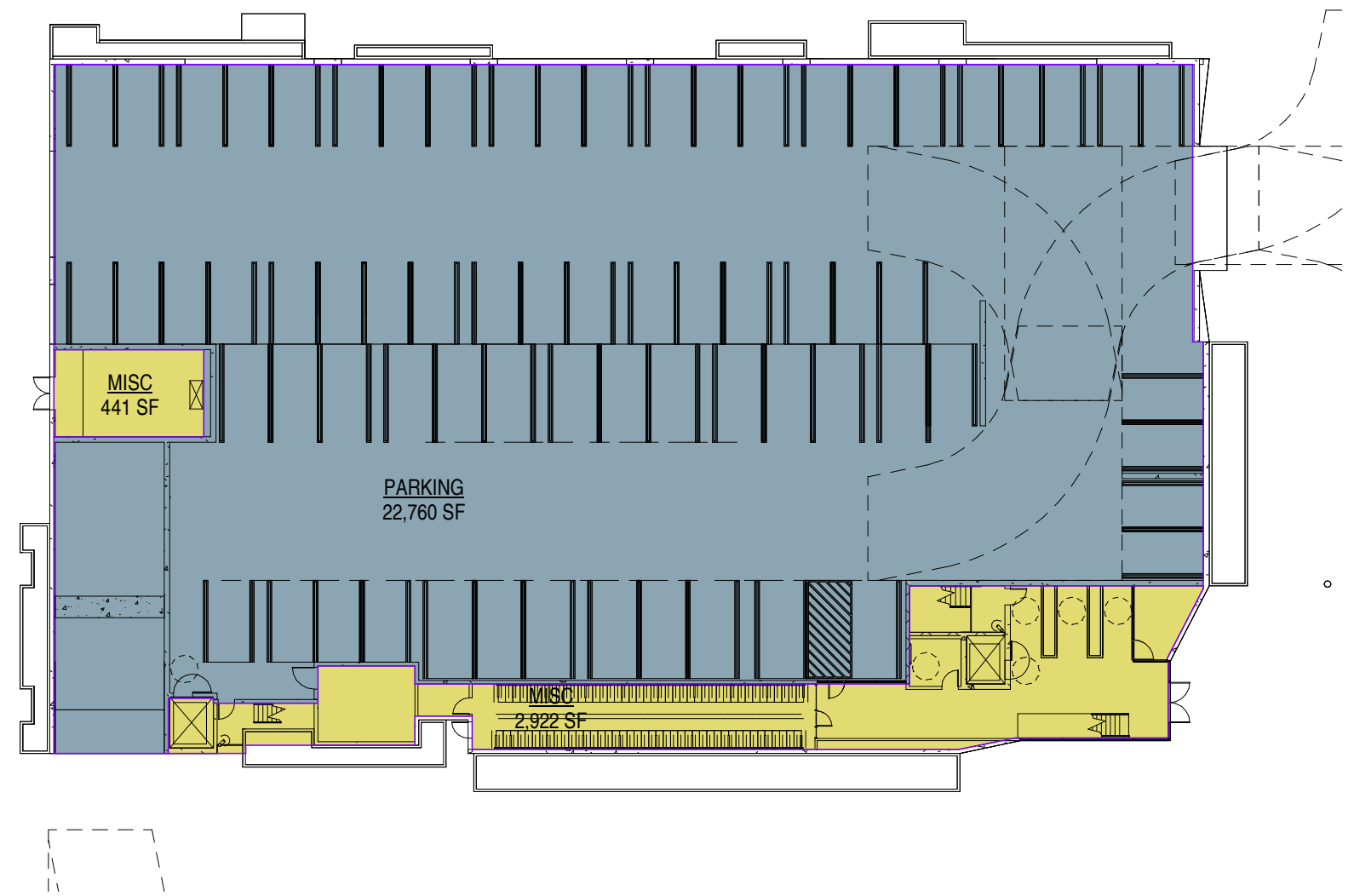
2ND FLOOR FAR DIAGRAM 1" = 30'-0" 2



7TH FLOOR FAR DIAGRAM 1" = 30'-0" 7



4TH FLOOR FAR DIAGRAM 1" = 30'-0" 4



1ST FLOOR FAR DIAGRAM 1" = 30'-0" 1

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PROJECT NAME
UNCOMMON ETHEL

NOT FOR CONSTRUCTION

PROJECT ADDRESS
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

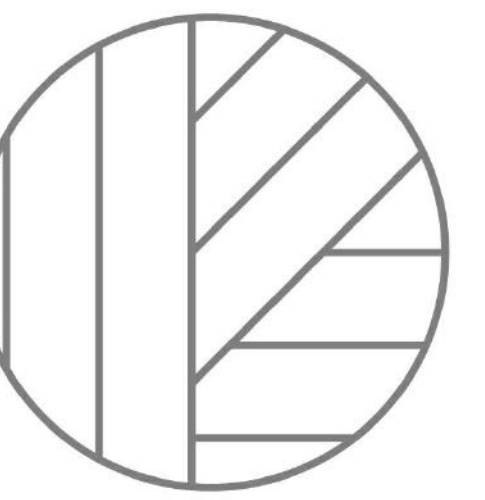
DATE
5.31.2023

SHEET TITLE
ZONING CODE AREA DIAGRAMS

SHEET NUMBER
G010

DRAWING SET TITLE
ENTITLEMENT SET

KEYNOTES

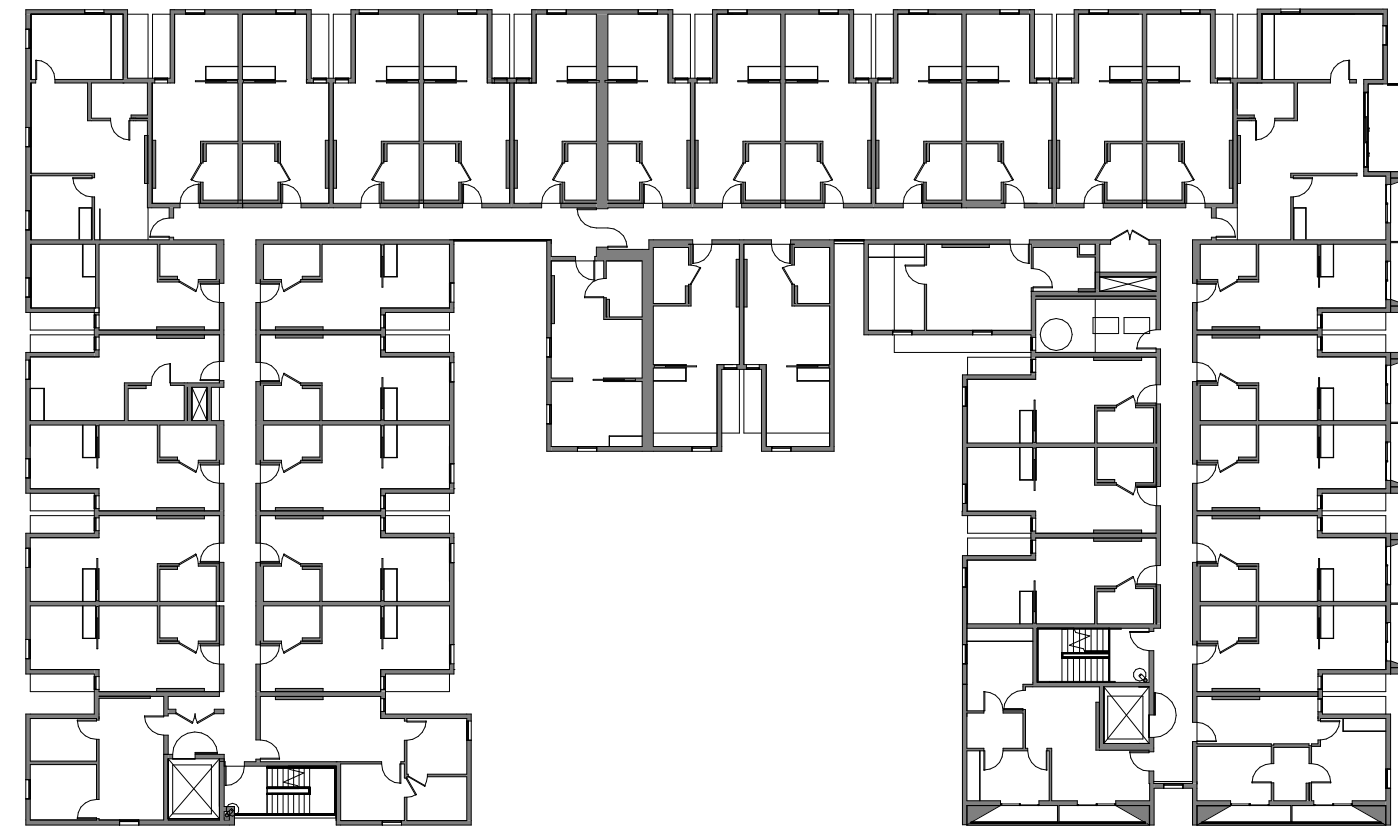


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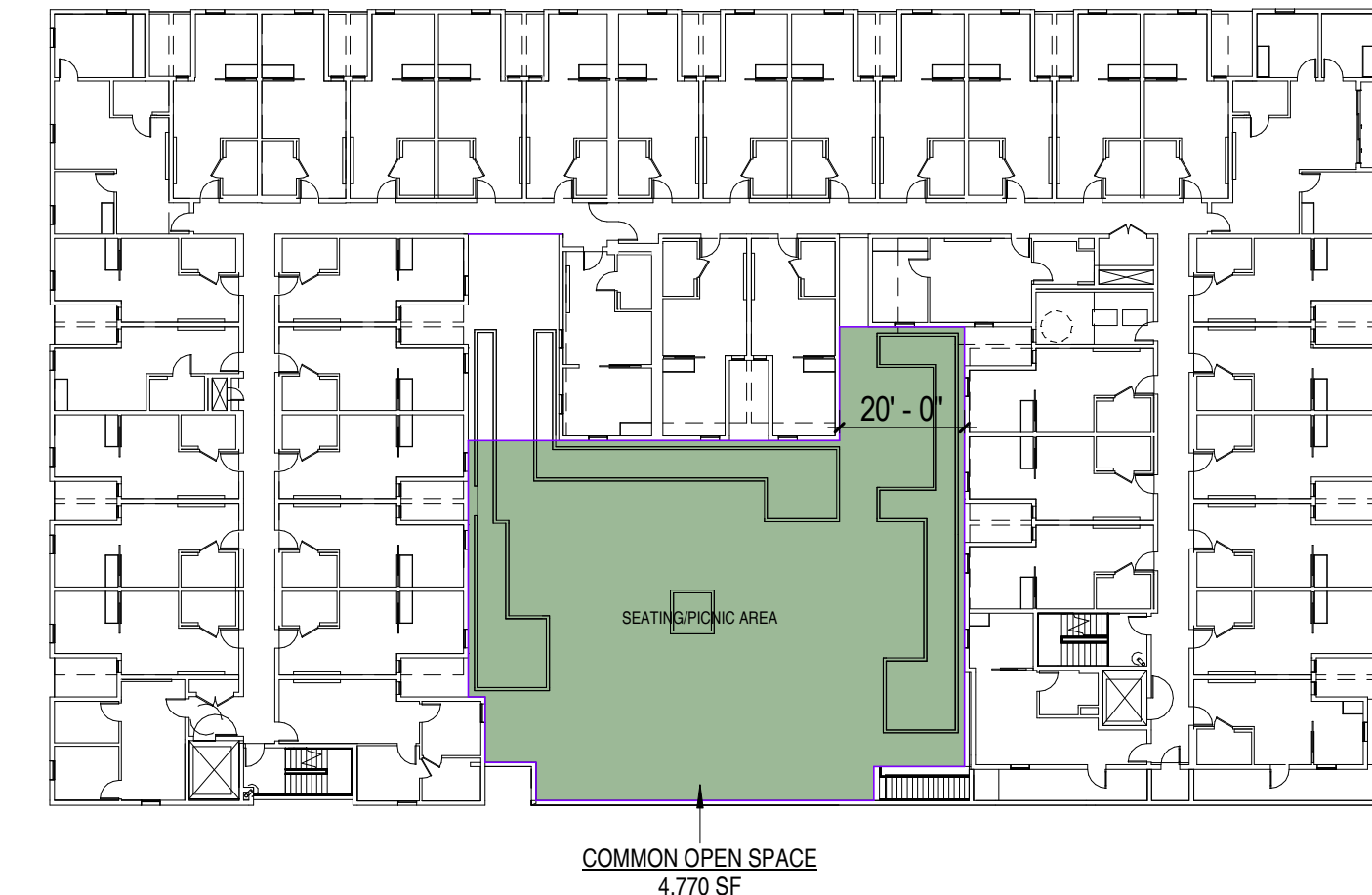
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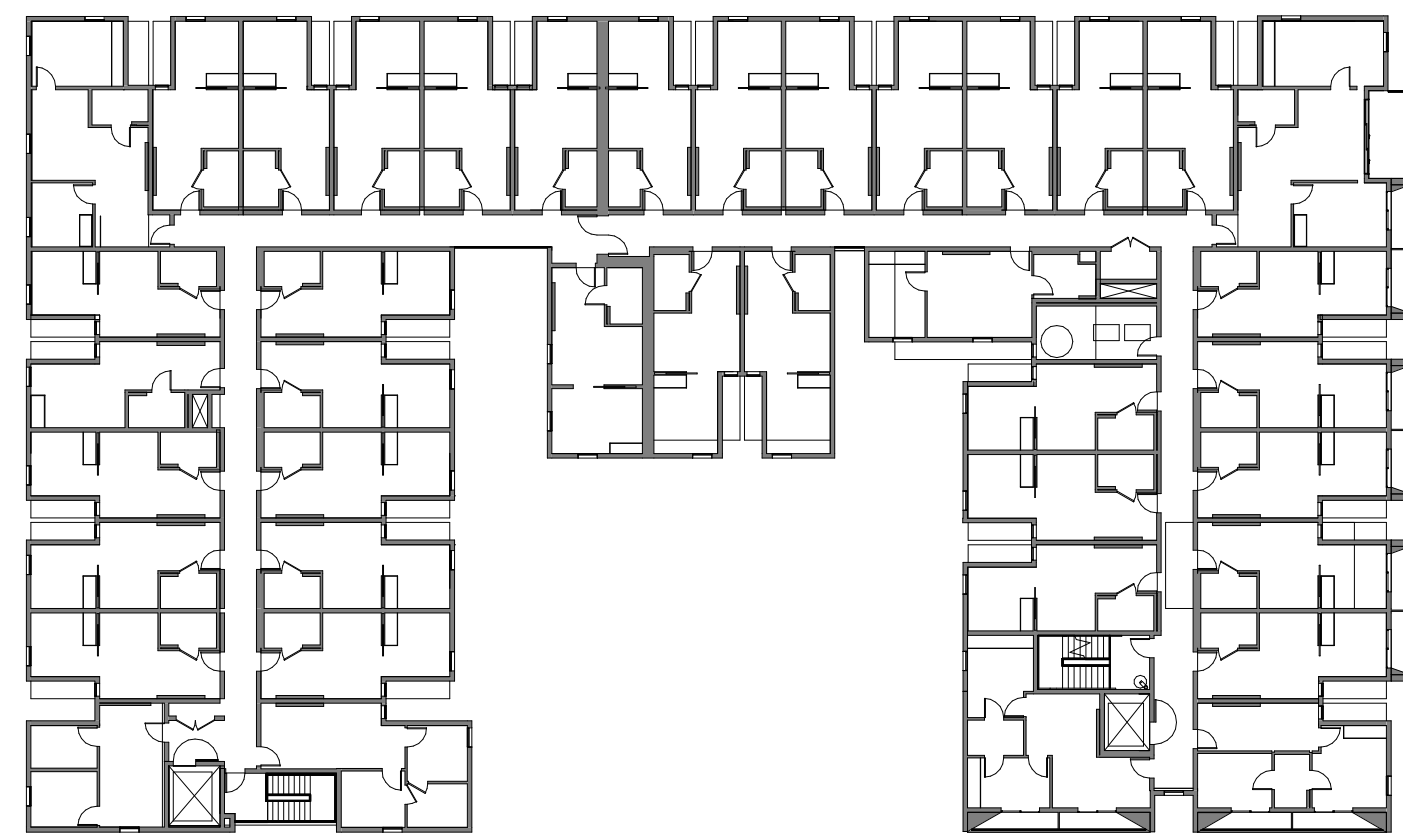
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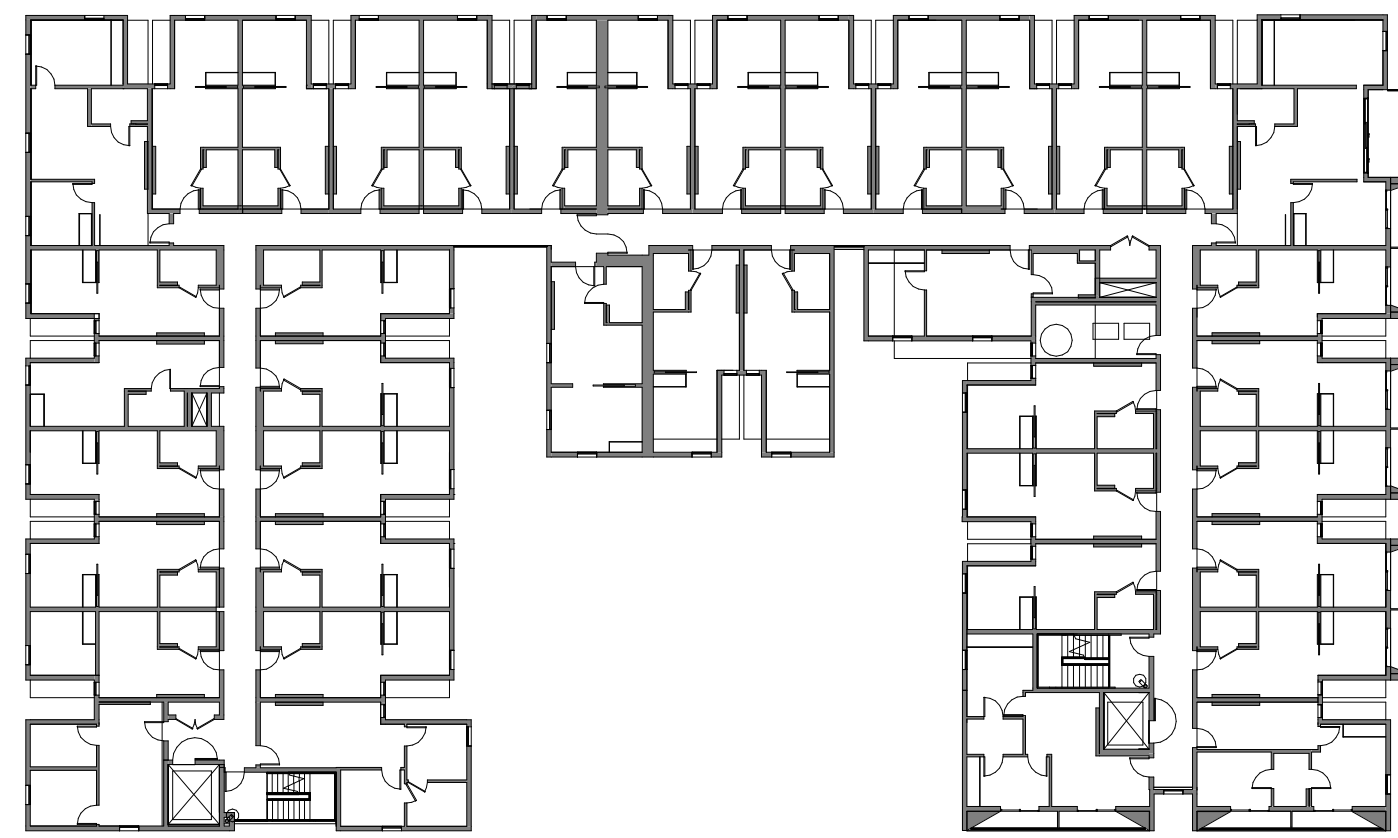
6TH FL FFE 1" = 30'-0" 6



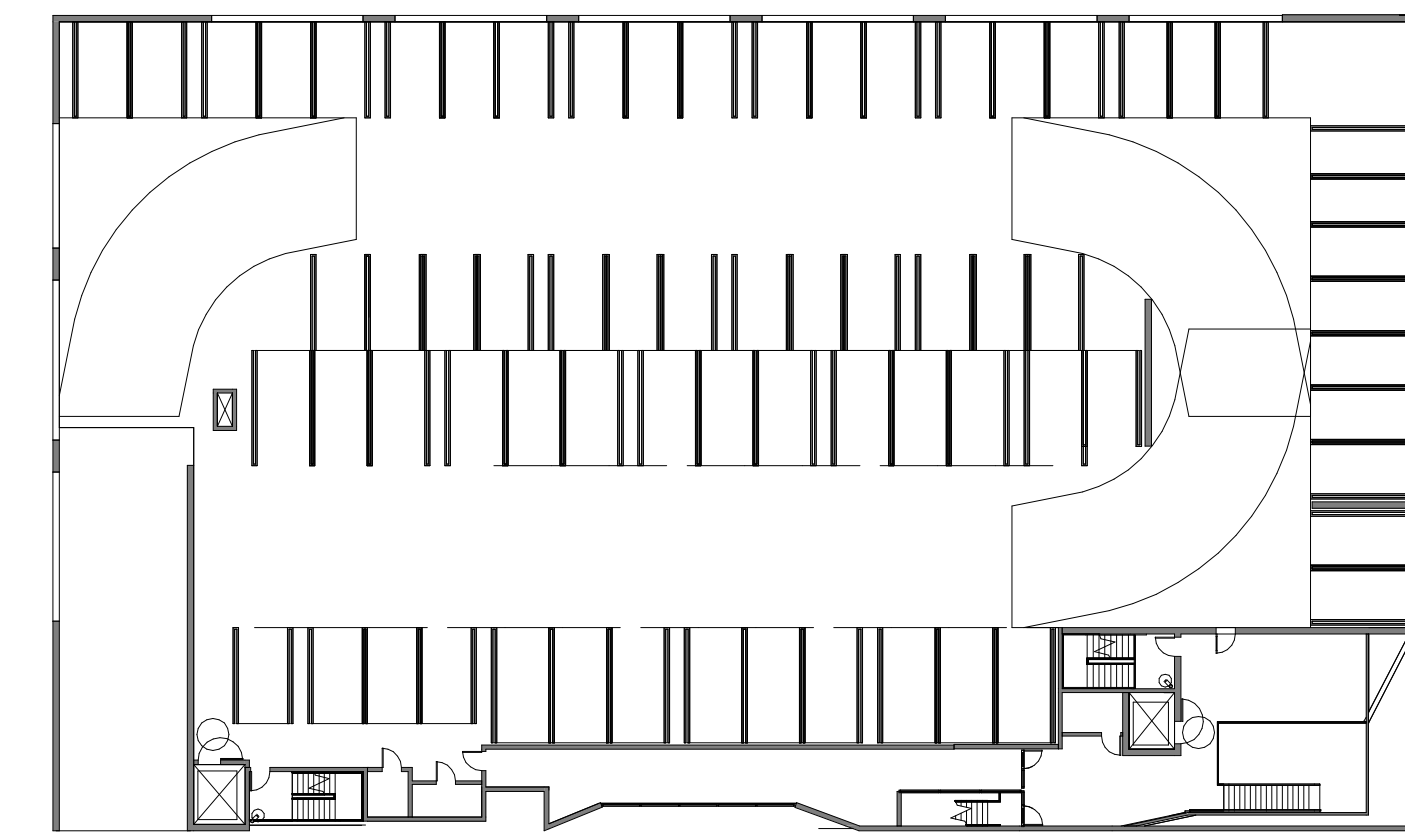
3RD FL FFE 1" = 30'-0" 3



7TH FL FFE 1" = 30'-0" 7

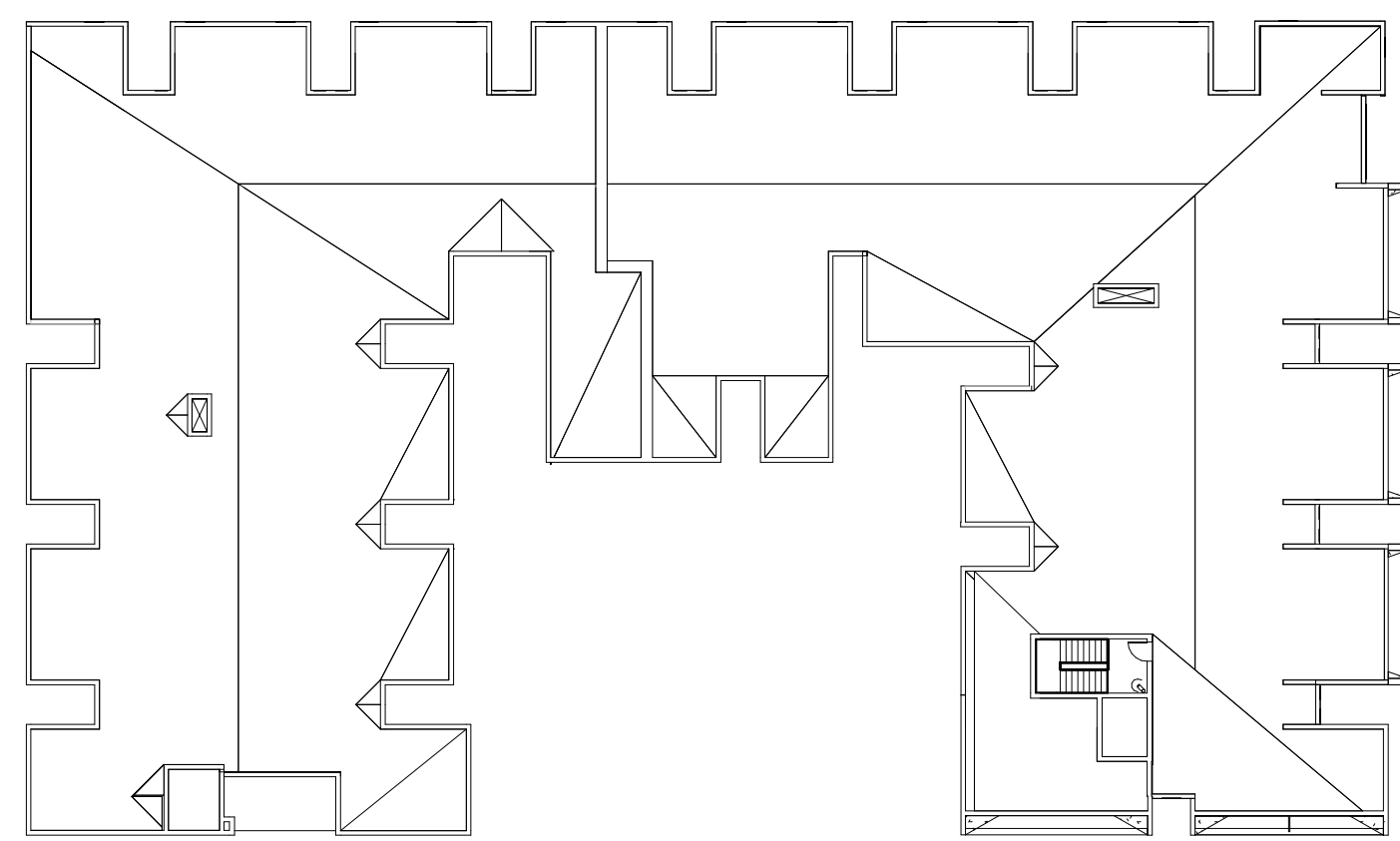


5TH FLOOR FFE 1" = 30'-0" 5

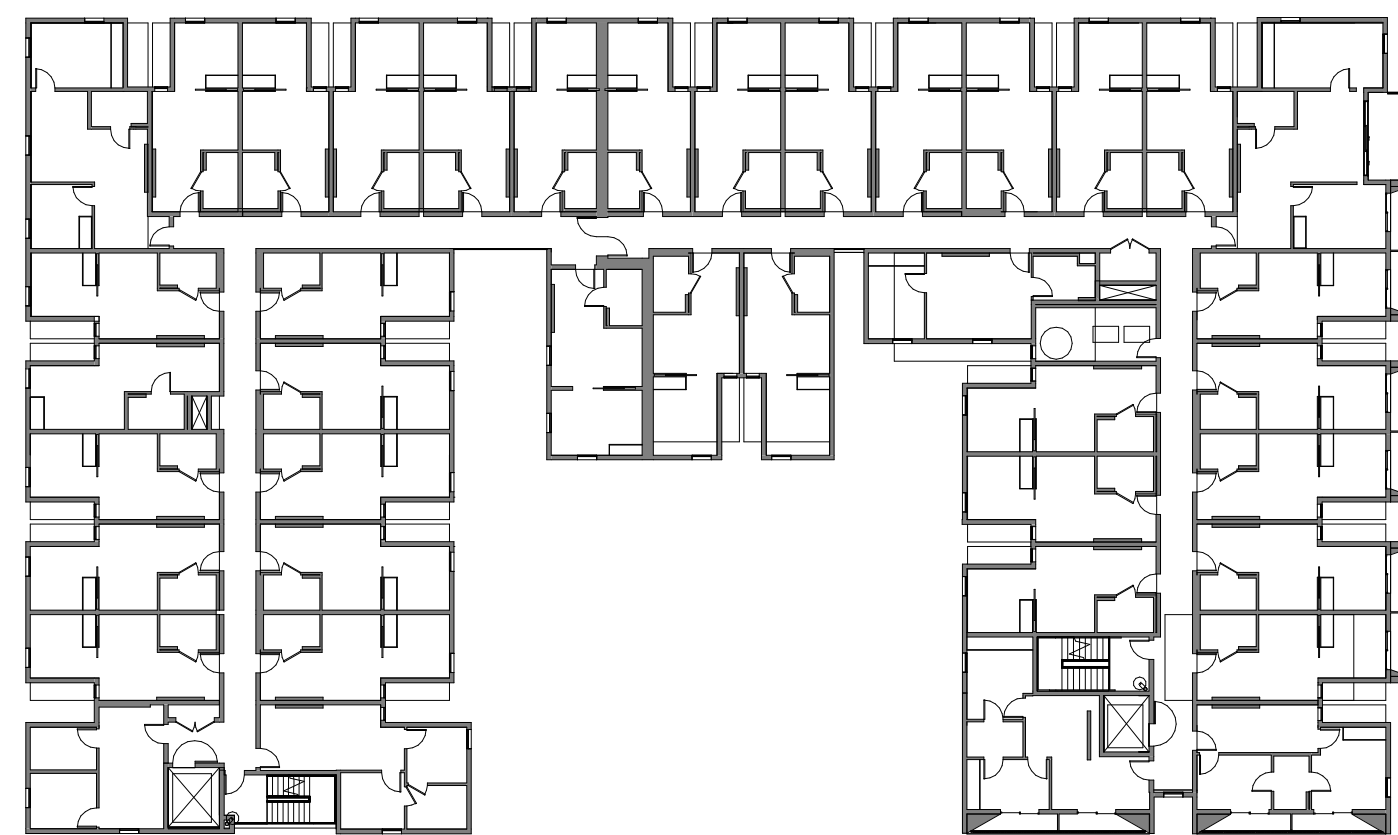


2ND FL FFE 1" = 30'-0" 2

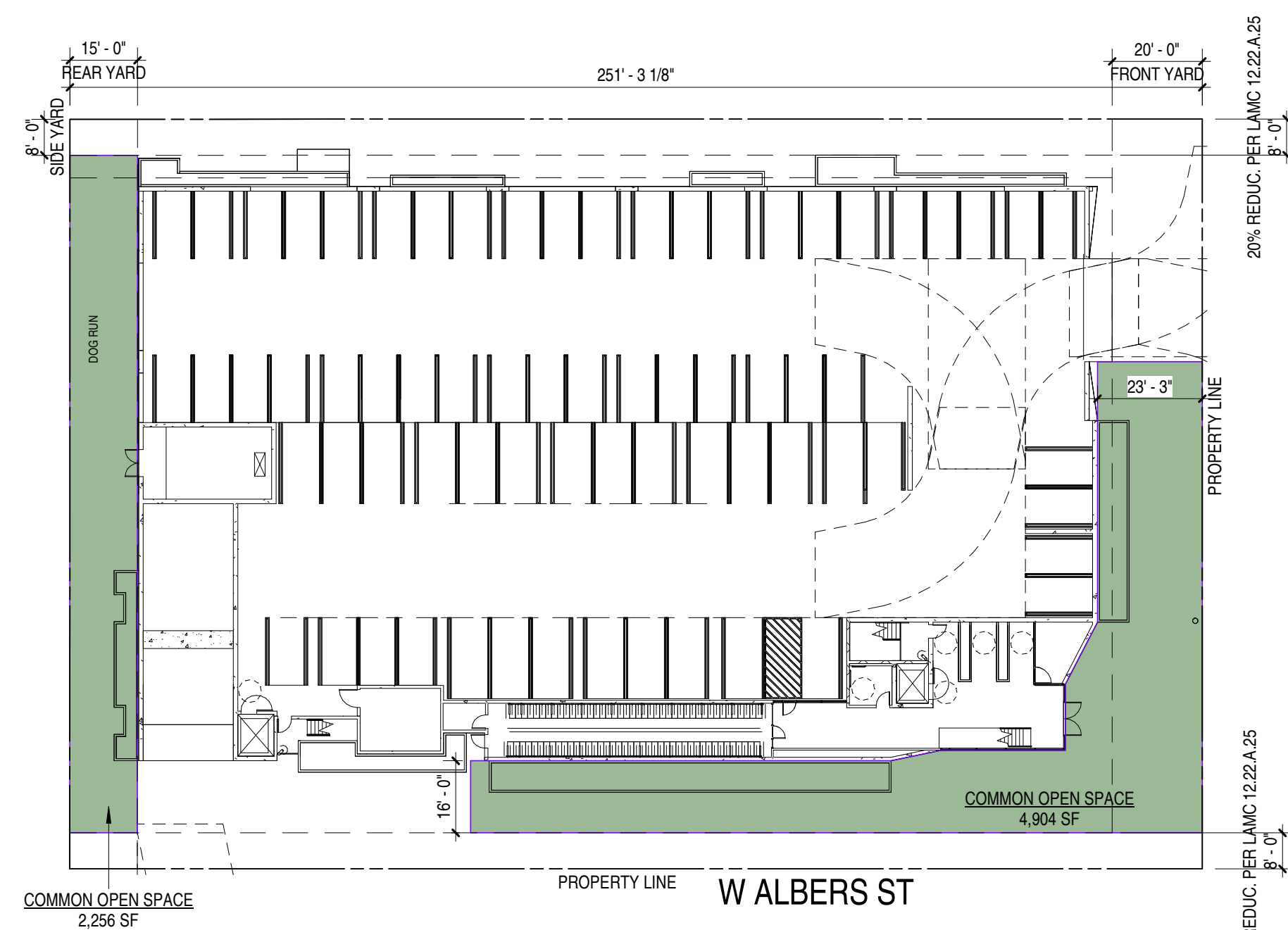
OPEN SPACE PROVIDED			
NAME	TYPE	LEVEL	AREA
COMMON OPEN SPACE		1ST FL FFE	7,160 SF
COMMON OPEN SPACE		3RD FL FFE	4,770 SF
COMMON OPEN SPACE			11,930 SF
GRAND TOTAL			11,930 SF



ROOF OPEN SPACE DIAGRAM 1" = 30'-0" 8



4TH FL FFE 1" = 30'-0" 4



1ST FLOOR OPEN SPACE DIAGRAM 1" = 30'-0" 1

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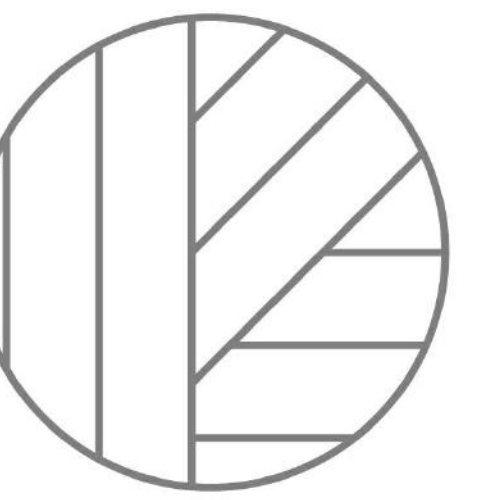
JOB NUMBER:
2234

DATE:
5.31.2023

SHEET TITLE:
OPEN SPACE CALCULATIONS

SHEET NUMBER:
G012

DRAWING SET TITLE:
ENTITLEMENT SET



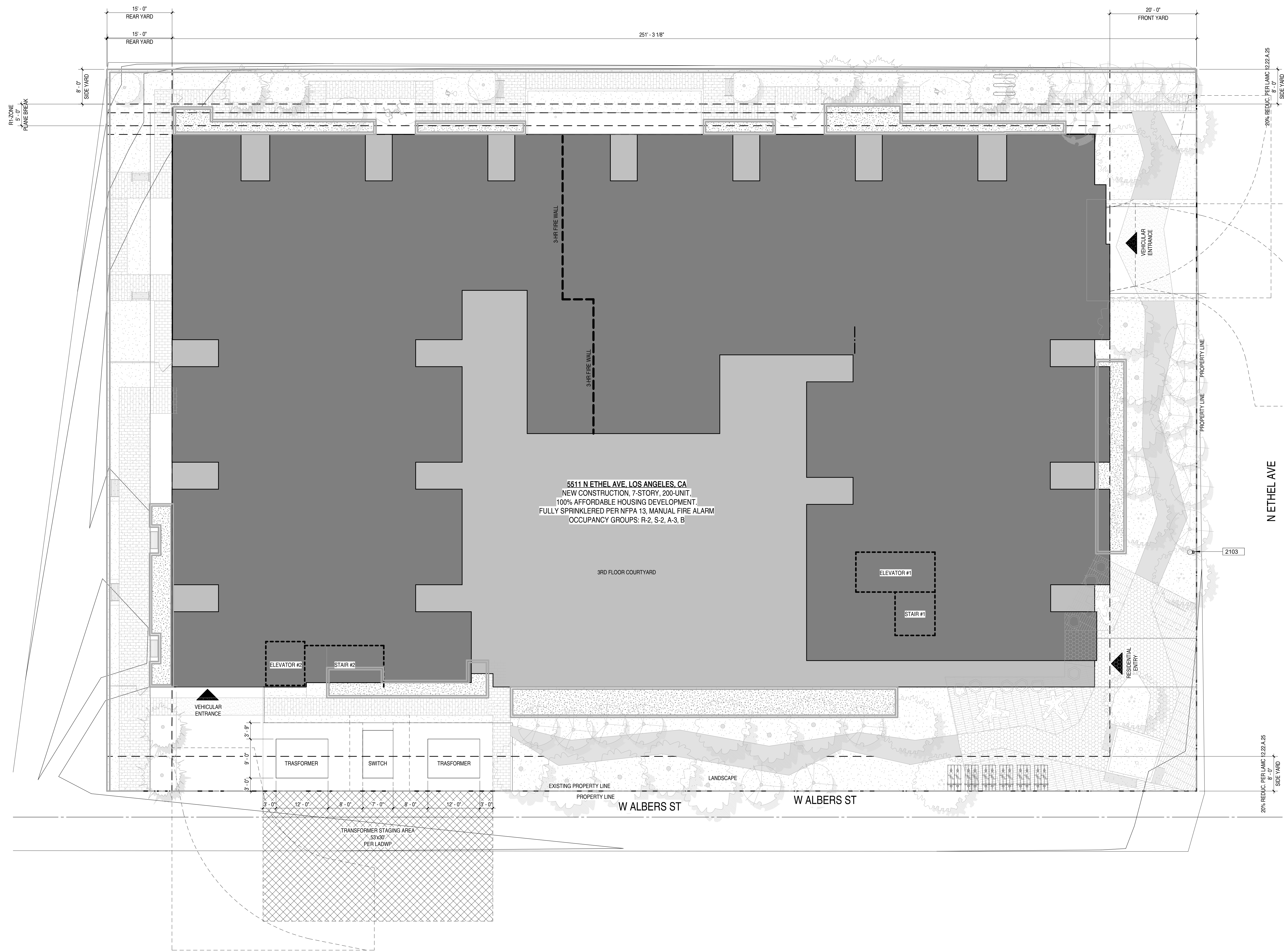
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SHERMAN OAKS, CA

JOB NUMBER:
2234

DATE:
5.31.2023

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A000

DRAWING SET TITLE:
ENTITLEMENT SET

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SHEET NOTES

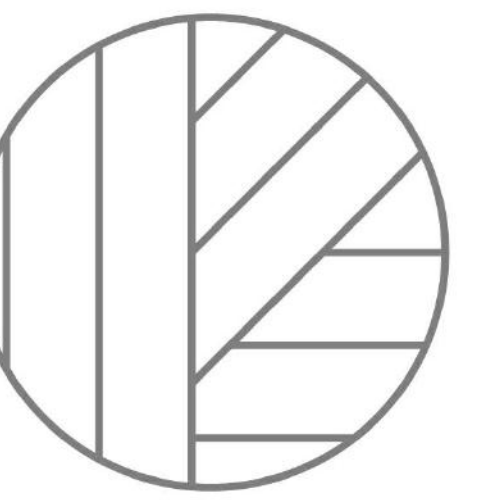
- A. ALL INTERIOR WALLS TO BE TYPE 1A LINO
- B. ALL DIMENSIONS ARE TO FINISH
- C. ALL DIMENSIONS INDICATED AS 1/8" ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- E. SPACES AWAY FROM FOOTINGS, 1% MIN.
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL. SP-REN 4.11.4 ENERGY CODE 110.16 LADP REQUIREMENT NO. 96
- G. WEATHER SHALL BE CAPABLE OF WITHSTANDING A MINIMUM WIND TEMPERATURE OF WIND AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF. SPACE PER RISE 11
- J. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FAÇADA
- K. ROOFING MATERIAL TO BE 18 GA GALVANIZED SHEET METAL, CLASS 5 SOL PREMIUM, MED-SLOPE, CLASS A ROOF COVERING
- L. ROOF TO HAVE A 3-YEAR AGED SRV VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75. ESR #1475.
- M. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER RISE 11.
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORCEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER RISE 11.
- O. BUILDINGS SHALL HAVE APPROVED HEIGHT NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 1011.1.
- P. PROTECTION OF WOOD AND WOOD ASSEMBLIES SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY
- R. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- S. PROVIDE ANTI GRABITTI FINISH WITHIN FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- T.

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A800 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A800 FOR WALL TYPE
- DOOR TAG, SEE A800 FOR DOOR TYPE
- WINDOW TAG, SEE A800 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYNOTES

- 2103 FIRE DEPARTMENT CONNECTION, PER LADP REQUIREMENTS. SEE FIRE PROTECTION DWGS.

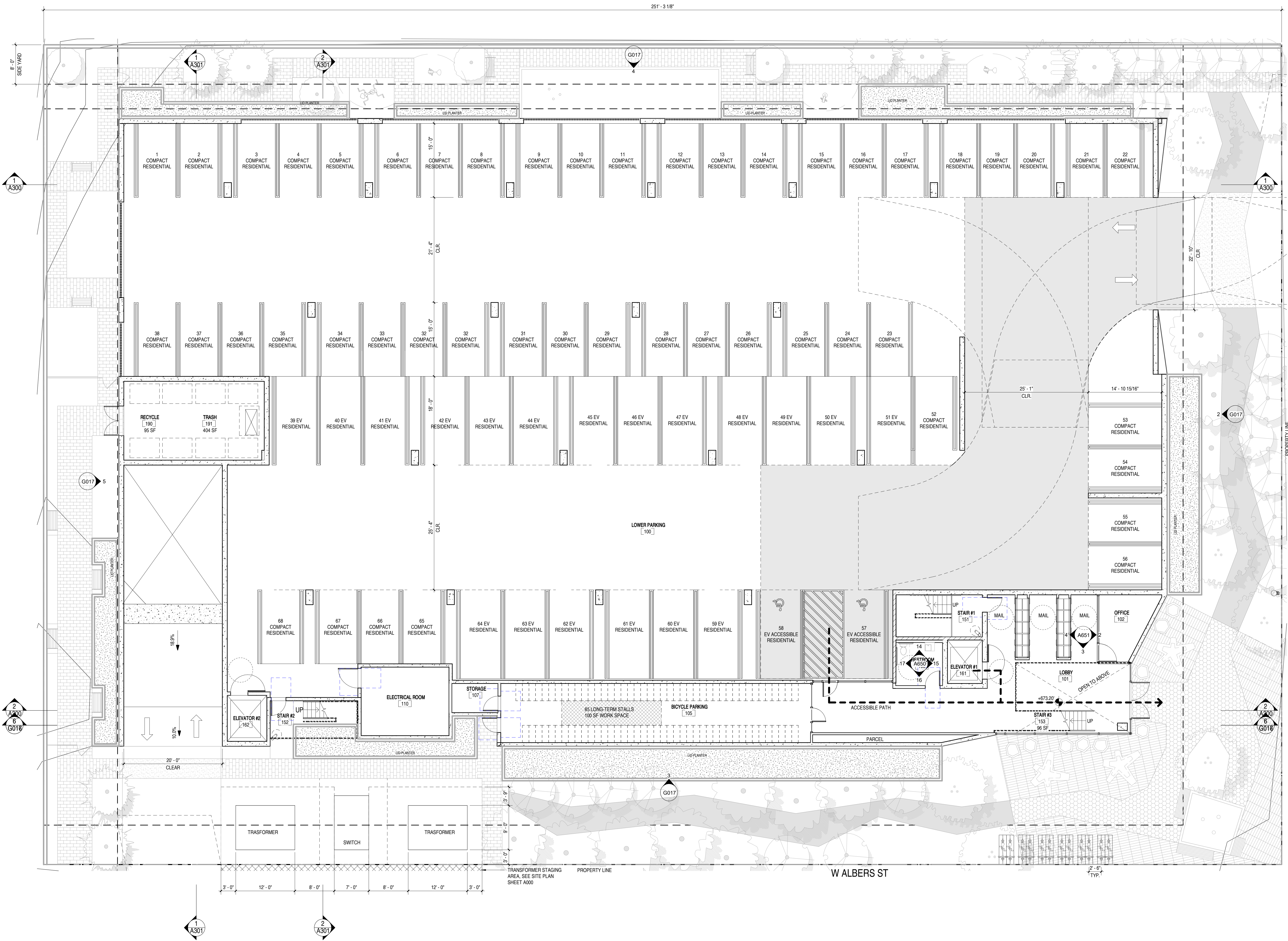


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JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
1ST FLOOR PLANS

SHEET NUMBER
A110

DRAWING SET TITLE
ENTITLEMENT SET

6/20/2023 12:38:27 PM

1ST FLOOR PLAN 1/8" = 1'-0" 1

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A LINO
- B. ALL DIMENSIONS ARE TO CURB/GRID
- C. ALL DIMENSIONS INDICATED AS 'CLR' ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" FIBERGLASS MOLDINGS AT ALL WALLS
- E. SPACES AWAY FROM FOOTINGS, 1% MIN.
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE MAIN SERVICE LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOLLOWS: SOLAR ELECTRIC, CAL. OPEN 471-A, ENERGY CODE 110.16, LADP REGULATION NO. 96
- G. WEATHER SHALL BE CAPABLE OF WITHSTANDING A MINIMUM WIND TEMPERATURE OF 90 MPH AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF. SPACE PER SECTION 11
- J. IDEAL FINISHING TO BE 1/8" GALVANIZED SHEET METAL, PAINTED TO MATCH FACADA
- K. ROOFING MATERIAL TO BE MAINTENANCE FREE WITHIN FIRST 5 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.

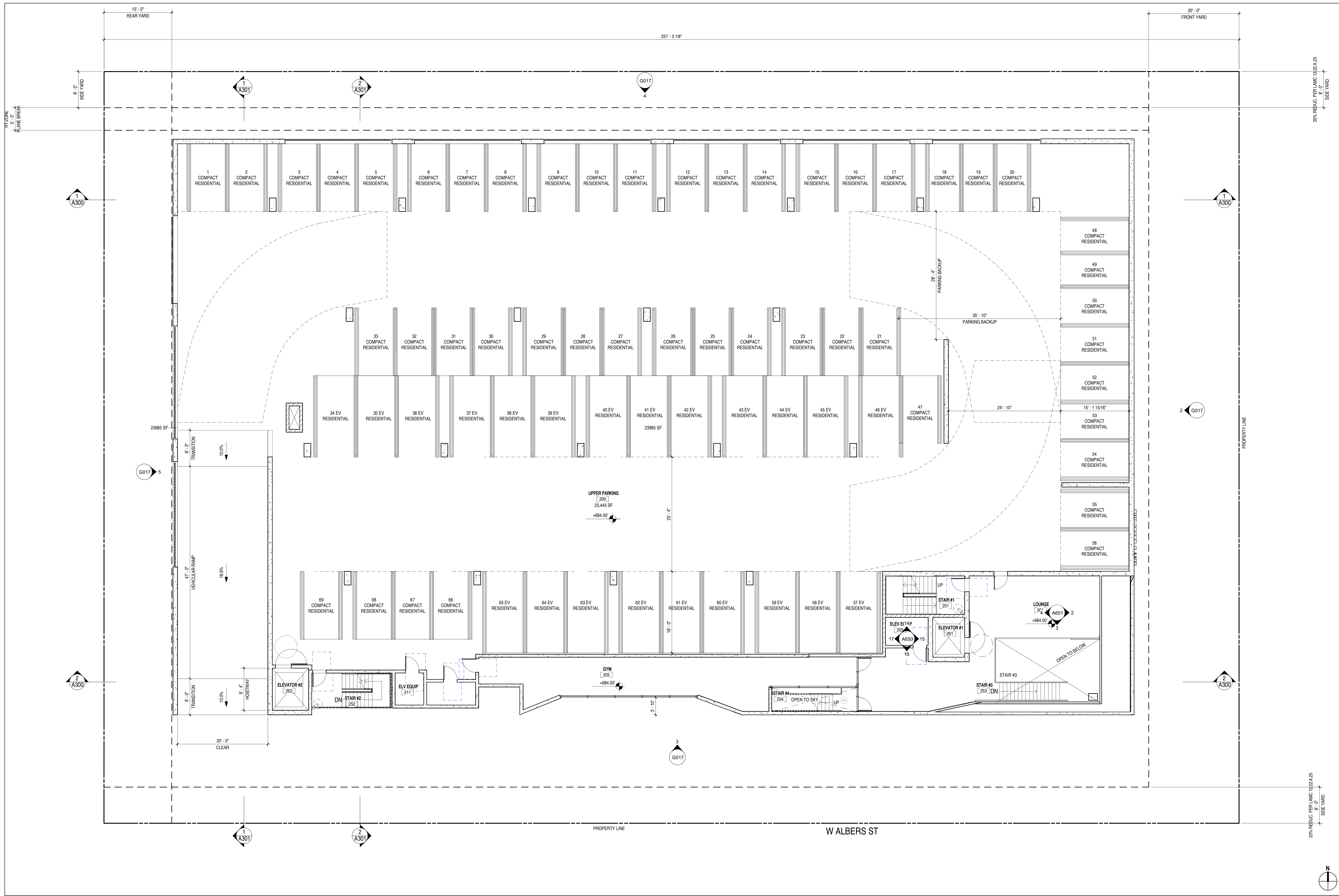
- L. ROOF TO HAVE A 3-YEAR AGED SR VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #1475.
- M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF. SPACE PER SECTION 11
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORCEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER SECTION 11
- O. BUILDINGS SHALL HAVE APPROVED SIGNAGE NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 1015.1.
- P. PROTECTION OF WOOD AND WOOD ASSEMBLIES SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION K17.1 BY
- Q. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- S. PROVIDE ANTI-GRABITTI FINISH WITHIN FIRST 5 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- T.

LEGEND

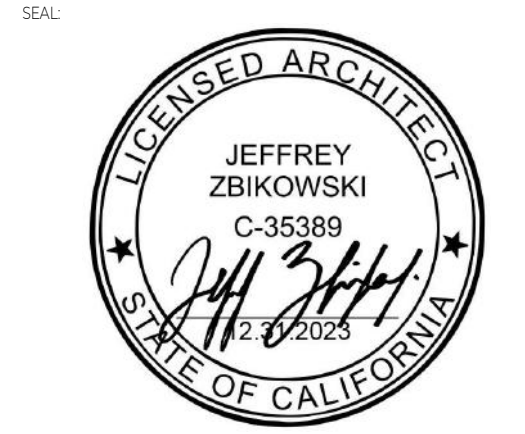
- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A900 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A900 FOR WALL TYPE
- DOOR TAG, SEE A900 FOR DOOR TYPE
- WINDOW TAG, SEE A900 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYNOTES

KEYNOTES



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CLIENT NAME
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
UNCOMMON ETHEL

NOT FOR CONSTRUCTION
PROJECT ADDRESS
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
2ND FLOOR PLAN

SHEET NUMBER
A120

DRAWING SET TITLE
ENTITLEMENT SET

6/20/2023 2:38:29 PM

2ND FLOOR PLAN 1/8" = 1'-0" 1

SHEET NOTES

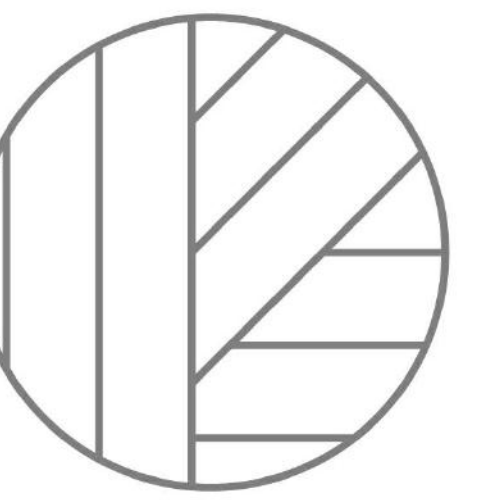
- A. ALL INTERIOR WALLS TO BE TYPE 1A LINO
- B. ALL DIMENSIONS ARE TO CL-FINISH
- C. ALL DIMENSIONS INDICATED AS 1/8" ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" FIBERGLASS MELDINGS AT ALL WALLS
- E. SPACES AWAY FROM FOOTINGS, 1% MIN.
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL. GREEN BLDG. ENERGY CODE 110.15.1.4 (L) ENERGY REG. NO. 96
- G. HEIGHTS SHALL BE COPIED TO MATCH FROM A MINIMUM FROM TEMPERATURE OF AIR AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STOREYS AND BETWEEN A TOP STORY AND THE ROOF SPACE PER SECTION 11
- J. LODGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACADA
- K. ROOFING MATERIAL TO BE MAINTENANCE FREE SOL PREMIUM MEDULETE, MEDULETE, CLASS A ROOF COVERING
- L. ROOF TO HAVE A 3-YEAR ASED SRI VALUE OF AT LEAST 14 OR BOTH A 3-YEAR ASED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75. ESR #1475.
- M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STOREYS, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER SECTION 11
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORCEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPS SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER SECTION 11
- O. BUILDINGS SHALL HAVE APPROVED SIGNAGE NUMBERS BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 91011.1
- P. PROTECTION OF WOOD AND WOOD ASSEMBLIES SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION K17.1 BY:
 - R. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWP-11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWP-11.
 - S. PROVIDE ANTI-GRABITTI FINISH WITHIN FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
 - T.

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A900 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A900 FOR WALL TYPE
- DOOR TAG, SEE A900 FOR DOOR TYPE
- WINDOW TAG, SEE A900 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYNOTES

KEYNOTES

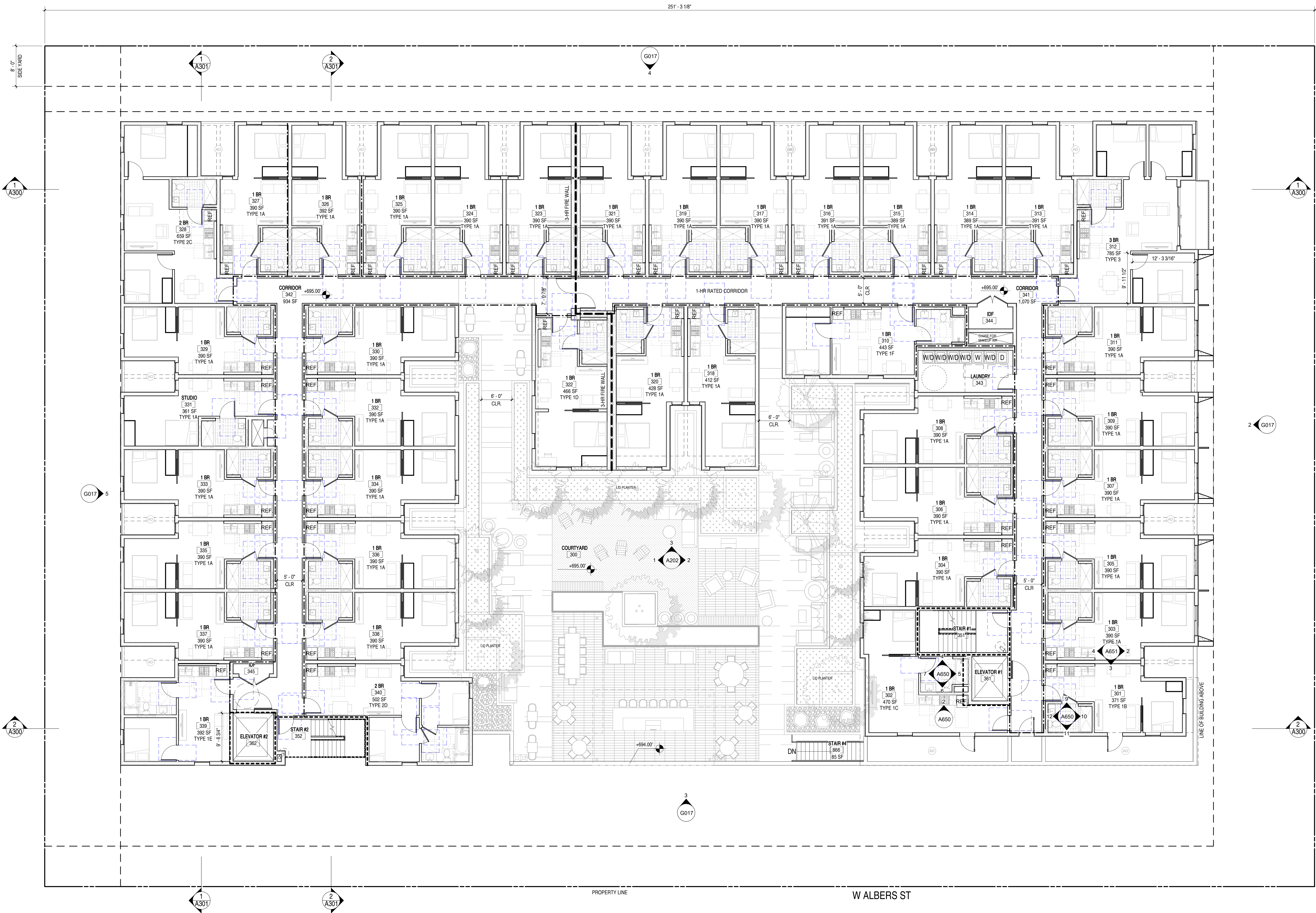


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CLIENT NAME
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
**UNCOMMON
ETHEL**

NOT FOR CONSTRUCTION
PROJECT ADDRESS
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234
DATE
5.31.2023

SHEET TITLE
3RD FLOOR PLAN

SHEET NUMBER
A130
DRAWING SET TITLE
ENTITLEMENT SET

6/20/2023 2:38:33 PM

3RD FLOOR PLAN 1/8" = 1'-0" 1

SHEET NOTES

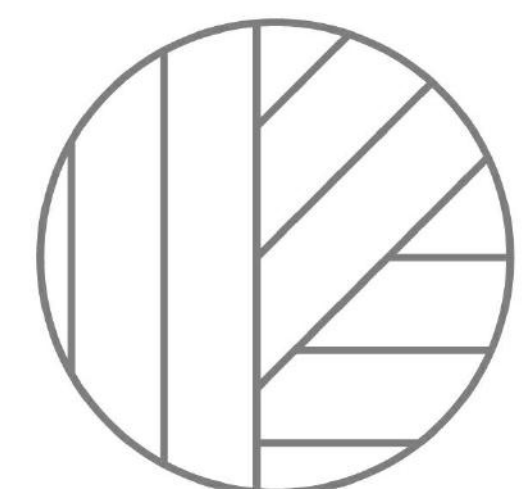
- A. ALL INTERIOR WALLS TO BE TYPE 1A LINO
- B. ALL DIMENSIONS ARE TO CL. UNLESS NOTED OTHERWISE
- C. ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" RECESSED BASE MOLDINGS AT ALL WALLS
- E. SPACES AWAY FROM FOOTINGS, 1% MIN.
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL. GREEN BLDG. A ENERGY CODE 110.15 LAFD REGULATION NO. 96
- G. HEIGHT SHALL BE CAPABLE OF WITHSTANDING A MINIMUM DESIGN TEMPERATURE OF 90°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER IBC 7.10.1
- J. FLOORING TO BE 1/8" GA GALVANIZED SHEET METAL, PAINTED TO MATCH FAUCIA
- K. ROOFING MATERIAL TO BE MALEKROY ROOFING, ECOSOL SOL PREMIUM - MEDSULTE, CLASS A ROOF COVERING
- L. ROOF TO HAVE A 3-YEAR AGED SR VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, EIR #1475.
- M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER IBC 7.10.1
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER IBC 7.10.1
- O. BUILDINGS SHALL HAVE APPROVED SIGNAGE NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER IBC 11.1.1
- P. PROTECTION OF WOOD AND WOOD ASSEMBLIES SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION K17.1 BY:
 - R. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH A11.1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWP4.11.
 - S. PROVIDE ANTI GRAYITI FINISH WITHIN FIRST 3 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
 - T.

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A900 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A900 FOR WALL TYPE
- DOOR TAG, SEE A900 FOR DOOR TYPE
- WINDOW TAG, SEE A900 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYNOTES

6/20/2023 2:38:33 PM



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CLIENT NAME
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
UNCOMMON ETHEL

PROJECT ADDRESS
NOT FOR CONSTRUCTION
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
4TH FLOOR PLAN

SHEET NUMBER
A140

DRAWING SET TITLE
ENTITLEMENT SET

6/20/2023 2:38:37 PM

SHEET NOTES

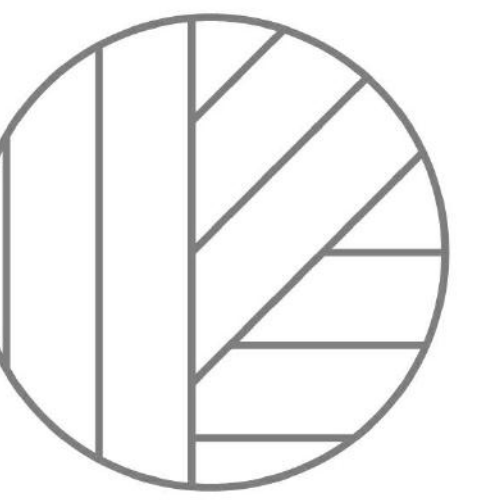
- A. ALL INTERIOR WALLS TO BE TYPE 1A LINO
- B. ALL DIMENSIONS ARE TO CL. UNLESS NOTED OTHERWISE
- C. ALL DIMENSIONS INDICATED AS 1/2" ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" RECESSED BASE MOLDINGS AT ALL WALLS
- E. SPACES AWAY FROM FOOTINGS, 1% MIN.
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL. GREEN BLDG. ENERGY CODE 110.15.1.4 (L) PER REGISTRATION NO. 96
- G. HEAVY TRAFFIC BE CORRIDOR OR HALLWAY AREA MINIMUM FROM TEMPERATURE OF USE AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF. SPACE PER SECTION 11
- J. IDEAL FINISHING TO BE 1/8" GALVANIZED SHEET METAL, PAINTED TO MATCH FAUCIA
- K. ROOFING MATERIAL TO BE MAINTENANCE FREE SOLAR PREMIUM - MEDISQUE, CLASS A ROOF COVERING
- L. ROOF TO HAVE A 3-YEAR AGED SR VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75. EIR #1475.
- M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF. SPACE PER SECTION 11
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORCEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPS SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER SECTION 11
- O. BUILDINGS SHALL HAVE APPROVED FIREWORKS NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 91011.1
- P. PROTECTION OF WOOD AND WOOD ASSEMBLIES SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION K17.1 BY:
 - R. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
 - S. PROVIDE ANTI-GRABITTI FINISH WITHIN FIRST 4 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
 - T.

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL. SEE A900 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG. SEE A900 FOR WALL TYPE
- DOOR TAG. SEE A900 FOR DOOR TYPE
- WINDOW TAG. SEE A900 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYNOTES

4TH FLOOR PLAN 1/8" = 1'-0" 1



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CLIENT NAME
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
**UNCOMMON
ETHEL**

PROJECT ADDRESS
NOT FOR CONSTRUCTION
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

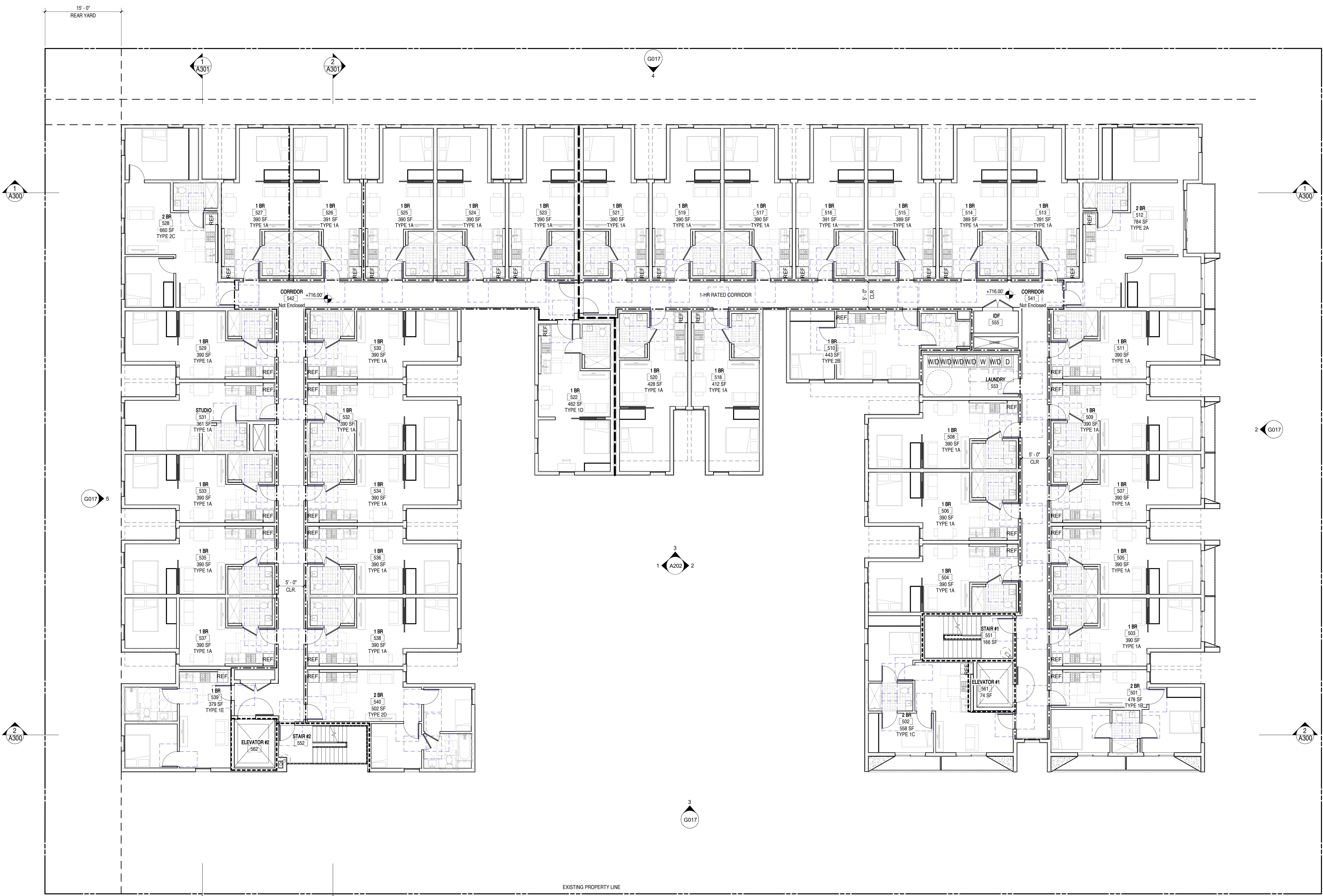
DATE
5.31.2023

SHEET TITLE
5TH FLOOR PLAN

SHEET NUMBER
A150

DRAWING SET TITLE
ENTITLEMENT SET

6/20/2023 2:38:41 PM



N ETHEL AVE

W ALBERS ST

5TH FLOOR PLAN 1/8" = 1'-0" 1

SHEET NOTES

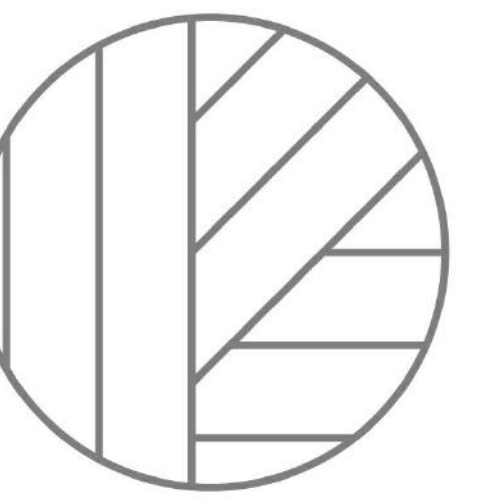
- A. ALL INTERIOR WALLS TO BE TYPE 1A LINO
- B. ALL DIMENSIONS ARE TO CL. UNLESS NOTED OTHERWISE
- C. ALL DIMENSIONS INDICATED AS 1/2" ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" RECESSED BASE MOLDS AS AT ALL WALLS
- E. SPACES AWAY FROM FOOTINGS, 1% MIN.
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL. GREEN BLDG. ENERGY CODE 110.15.1 LAPD REGULATION NO. 96
- G. HEVTS SHALL BE COPIED OR MARKED WITH A MINIMUM FROM TEMPERATURE OF AIR AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF. SPACE PER SECTION 11
- J. DODGE FLASHING TO BE 16 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FAUCIA
- K. ROOFING MATERIAL TO BE MALEKROY ROOFING ECOSOL SOL PREMIUM MEDQUITE, CLASS A ROOF COVERING
- L. ROOF TO HAVE A 3-YEAR ASH BR VALUE OF AT LEAST 14 OR BOTH A 3-YEAR ASHED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75. ESR #1475.
- M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF. SPACE PER SECTION 11
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORCEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER SECTION 11
- O. BUILDINGS SHALL HAVE APPROVED FIREWORK NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 1015.1.
- P. PROTECTION OF WOOD AND WOOD ASER FINISHES SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION K17.1 BY
- Q. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- R. PROVIDE ANTI GRABITTI FINISH WITHIN FIRST 3 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A800 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A800 FOR WALL TYPE
- DOOR TAG, SEE A800 FOR DOOR TYPE
- WINDOW TAG, SEE A800 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYNOTES

KEYNOTES



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SCALE:



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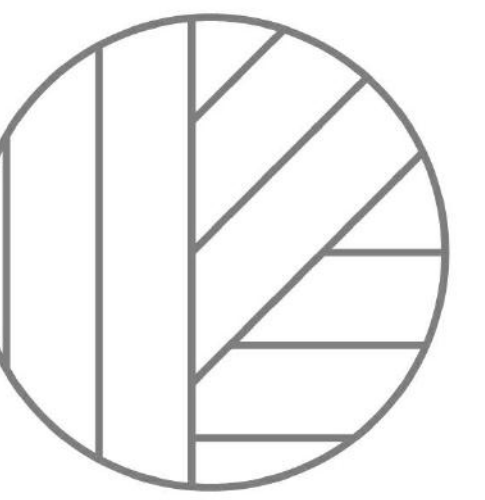
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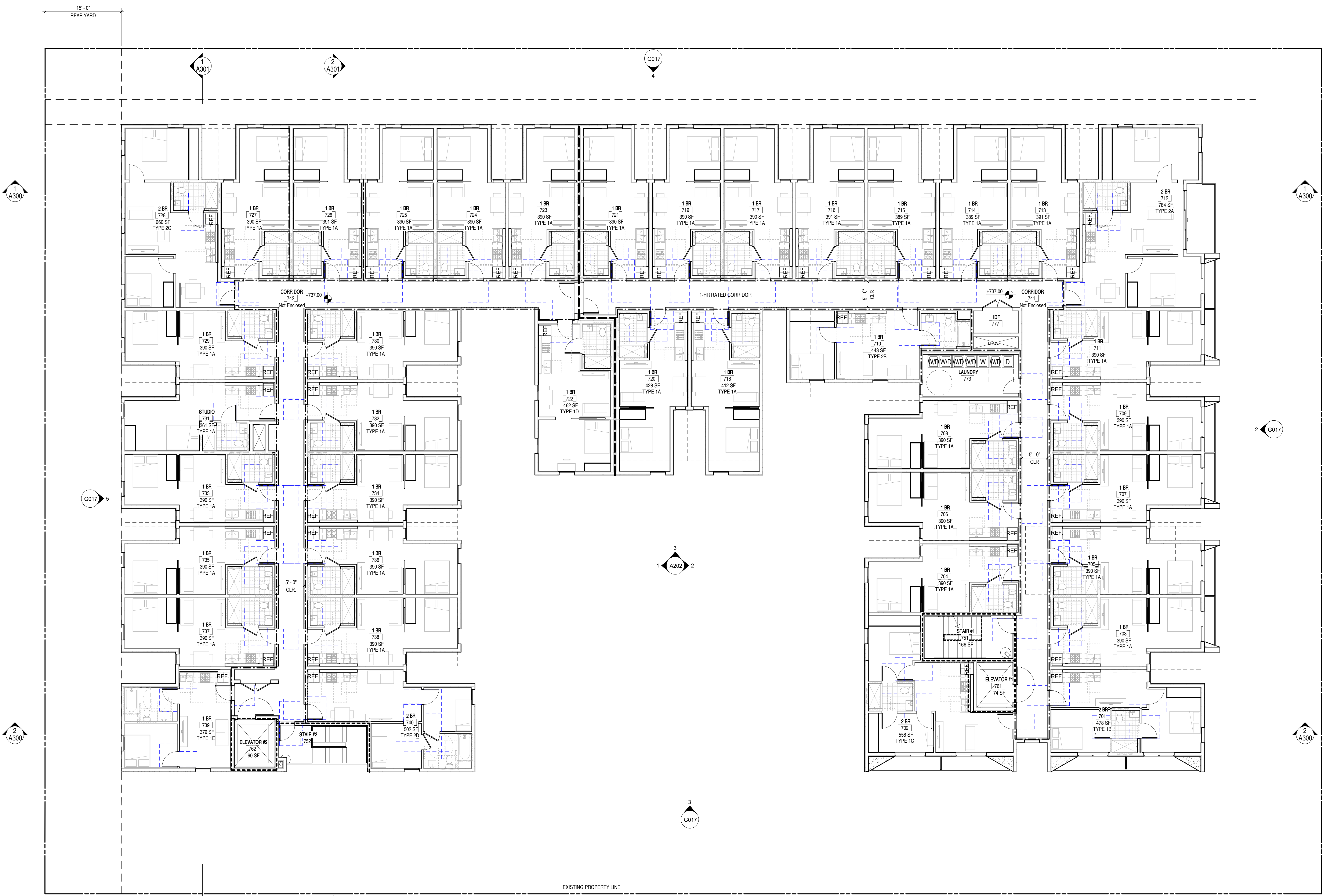


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CULVER CITY, CA 90232
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INFO@JZARCH.LA



REVISIONS



N ETHEL AVE

W ALBERS ST

7TH FLOOR PLAN 1/8" = 1'-0" 1

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A LINO
- B. ALL DIMENSIONS ARE TO CURB/NO
- C. ALL DIMENSIONS INDICATED AS 1/8" ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" RECESSED BASE MOLDINGS AT ALL WALLS
- E. SPACES AWAY FROM FOOTINGS, 1% MIN.
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL. GREEN BLDG. A ENERGY CODE 110.10.1.4 (L) PER REGULATION NO. 96
- G. WEATHER SHALL BE CAPABLE OF WITHSTANDING A MINIMUM WIND TEMPERATURE OF 90 AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF. SPACE PER REG 11
- J. EDGE FLASHING TO BE 1/8" GA GALVANIZED SHEET METAL, PAINTED TO MATCH FAUCIA
- K. ROOFING MATERIAL TO BE MALIBU ROOFING ECOSOL SOL PREMIUM - MEDIUM, CLASS A ROOF COVERING
- L. ROOF TO HAVE A 3-YEAR ASED SR VALUE OF AT LEAST 14 OR BOTH A 3-YEAR ASED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75. ESR #1475.
- M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF. SPACE PER REG 11
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER REG 11
- O. BUILDINGS SHALL HAVE APPROVED SIGNAGE NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 010.1.
- P. PROTECTION OF WOOD AND WOOD ASSEMBLIES SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION K17.1 BY
- R. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- S. PROVIDE ANTI GRABITTI FINISH WITHIN FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- T.

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A900 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A900 FOR WALL TYPE
- DOOR TAG, SEE A900 FOR DOOR TYPE
- WINDOW TAG, SEE A900 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYNOTES

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CLIENT NAME
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
UNCOMMON ETHEL

NOT FOR CONSTRUCTION
PROJECT ADDRESS
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
7TH FLOOR PLAN

SHEET NUMBER
A170

DRAWING SET TITLE
ENTITLEMENT SET

6/20/2023 2:38:49 PM



SOUTH ELEVATION 1/8" = 1'-0" 2



EAST ELEVATION 1/8" = 1'-0" 1

KEYNOTES

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 INFO@JZARCH.LA

SEAL: JEFFREY ZBIKOWSKI C-35389

- SHEET NOTES**
- ALL INTERIOR WALLS TO BE TYPE 1A UNO
 - ALL DIMENSIONS ARE TO CLR UNO
 - ALL DIMENSIONS INDICATED AS CLR ARE FROM FINISH TO FINISH
 - WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
 - GRADE AWAY FROM FOOTINGS: 1% MIN
 - THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A FUTURE SOLAR CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE SERVICE LOCATION FOR THE MAIN ELECTRICAL SERVICE AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC" CAL GREEN 4211.4 ENERGY CODE 11.5.1.4.4. REQUIREMENT NO. 16
 - HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
 - FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11
 - EDGE FLASHING TO BE 16 GA GALVANIZED SHEET METAL PAINTED TO MATCH FASCIA
 - ROOFING MATERIAL TO BE MALAKY ROOFING, ECOSASS SOL PREMIUM - MESQUITE, CLASS-A ROOF COVERING
 - ROOF TO HAVE A 3 YEAR AGED SR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.09 AND A THERMAL EMITTANCE OF AT LEAST 0.76 SR VALUE
 - IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11
 - IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A DRAFTING ASSEMBLY, DRAFT TOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFT TOPS SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R302.11
 - BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS EASILY OBSERVABLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R315.1
 - PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 11.1.11
 - THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH NAPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE LISTED IN SECTION 11.6 (APP. 11.1)
 - PROVIDE ANTI-GRAFFITI FINISH WITH FIRST 9 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS

LEGEND

	GYP BOARD CEILING - ATTACHED TO UNDERSIDE OF FRAMING ABOVE
	GYP BOARD DROP CEILING
	PLASTER CEILING
	WOOD POST PER STRUCT DWGS
	SEE SHT A800 FOR WALL TYPES
	EXIT SIGN
	FIRE EXTINGUISHER
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	BATHROOM EXHAUST
	FAN COIL ACCESS PANEL
	RECESSED LIGHT. SEE ELEC. INTERIOR DWGS
	SURFACE MOUNT LIGHT. SEE ELEC. INTERIOR DWGS
	WALL SCONCE. SEE ELEC. INTERIOR DWGS
	LINEAR LIGHT FIXTURE. SEE ELEC. INTERIOR DWGS

UNCOMMON DEVELOPERS
 9220 N WINNETKA AVE
 CHATSWORTH, CA 91311

UNCOMMON ETHEL
 NOT FOR CONSTRUCTION

PROJECT ADDRESS:
 5511 N ETHEL AVE
 SHERMAN OAKS, CA

JOB NUMBER:
 2234

DATE:
 5.31.2023

SHEET TITLE:
ELEVATIONS

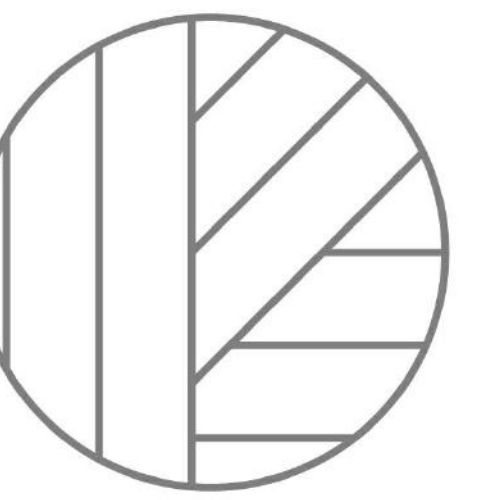
SHEET NUMBER:
A200

DRAWING SET TITLE:
ENTITLEMENT SET



REVISIONS

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REVISIONS

KEYNOTES

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO
- C. ALL DIMENSIONS INDICATED AS 'CLR' ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- E. GRADE AWAY FROM FOOTINGS, 1% MIN
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A FUTURE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE EXISTING LOCATION FOR THE MAIN CIRCUIT BREAKER AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'. CAL GREEN 4211.4 ENERGY CODE 11.5.1.2.4. REQUIREMENT NO. 16.
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11
- I. EDGE FLASHING TO BE 16 GA GALVANIZED SHEET METAL PAINTED TO MATCH FASCIA
- J. ROOFING MATERIAL TO BE MAJANRY ROOFING, ECOSOL SOL PREMIUM - MESQUITE, CLASS-A ROOF COVERING
- K. ROOF TO HAVE A 3 YEAR AGED SR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.25 AND A THERMAL EMITTANCE OF AT LEAST 0.75 PER 404.3
- L. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11
- M. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A LOCKING ASSEMBLY, DRAFT TOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFT TOPS SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R302.13
- N. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS AS NEARLY AS FEASIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R301.1
- O. PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 11.11.11
- P. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH WAPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 11.6 (APP. 11.1)
- Q. PROVIDE ANTI-GRAFFITI FINISH WITH FIRST 9 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS

LEGEND

- NO DROP GYP BOARD CEILING - ATTACHED TO UNDERSIDE OF FRAMING ABOVE
- GYP BOARD DROP CEILING
- PLASTER CEILING
- WOOD POST PER STRUCT DWGS
- SEE SHT A300 FOR WALL TYPES
- EXIT SIGN
- FIRE EXTINGUISHER
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST
- FAN COIL ACCESS PANEL
- RECESSED LIGHT. SEE ELEC. INTERIOR DWGS
- SURFACE MOUNT LIGHT. SEE ELEC. INTERIOR DWGS
- WALL SCONCE. SEE ELEC. INTERIOR DWGS
- LINEAR LIGHT FIXTURE. SEE ELEC. INTERIOR DWGS

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CLIENT NAME:
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME:
UNCOMMON ETHEL
NOT FOR CONSTRUCTION

PROJECT ADDRESS:
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER:
2234

DATE:
5.31.2023

SHEET TITLE:
ELEVATIONS

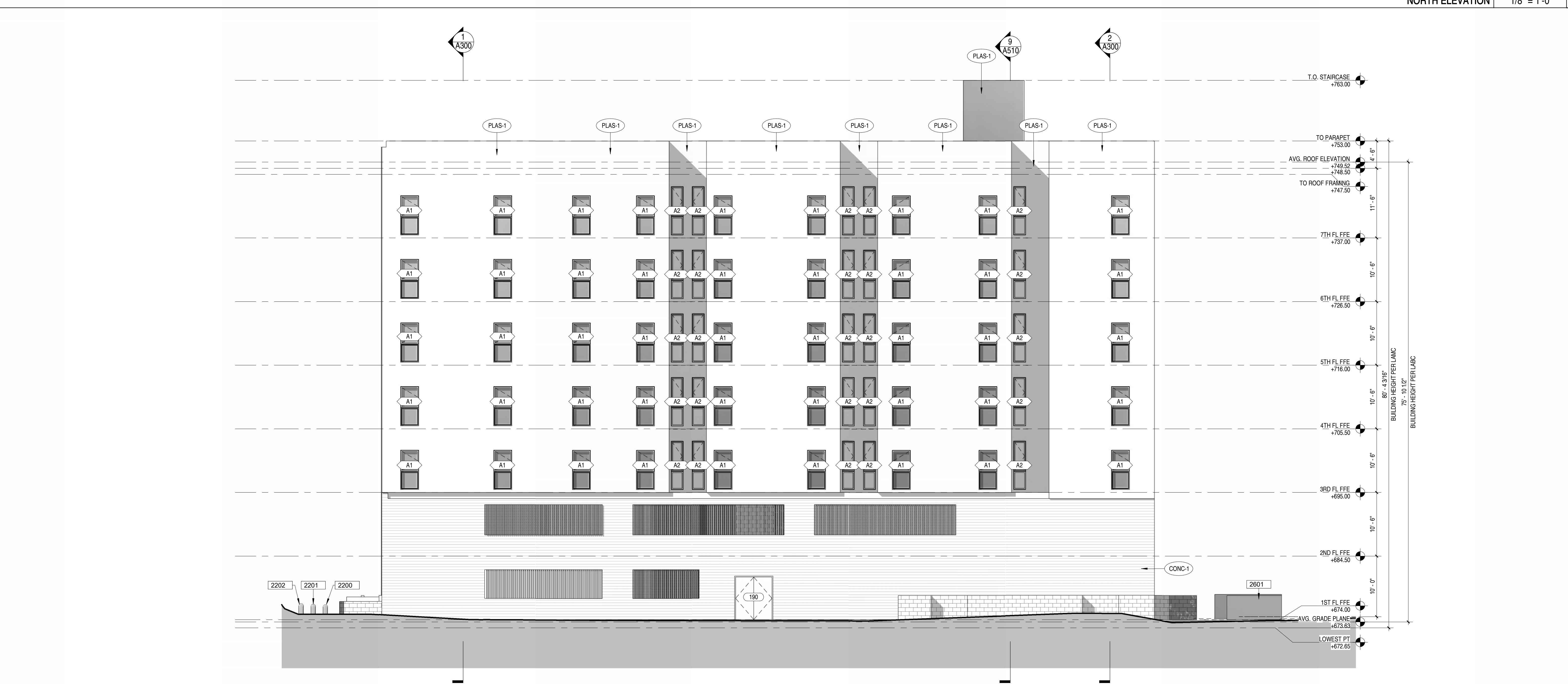
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A201

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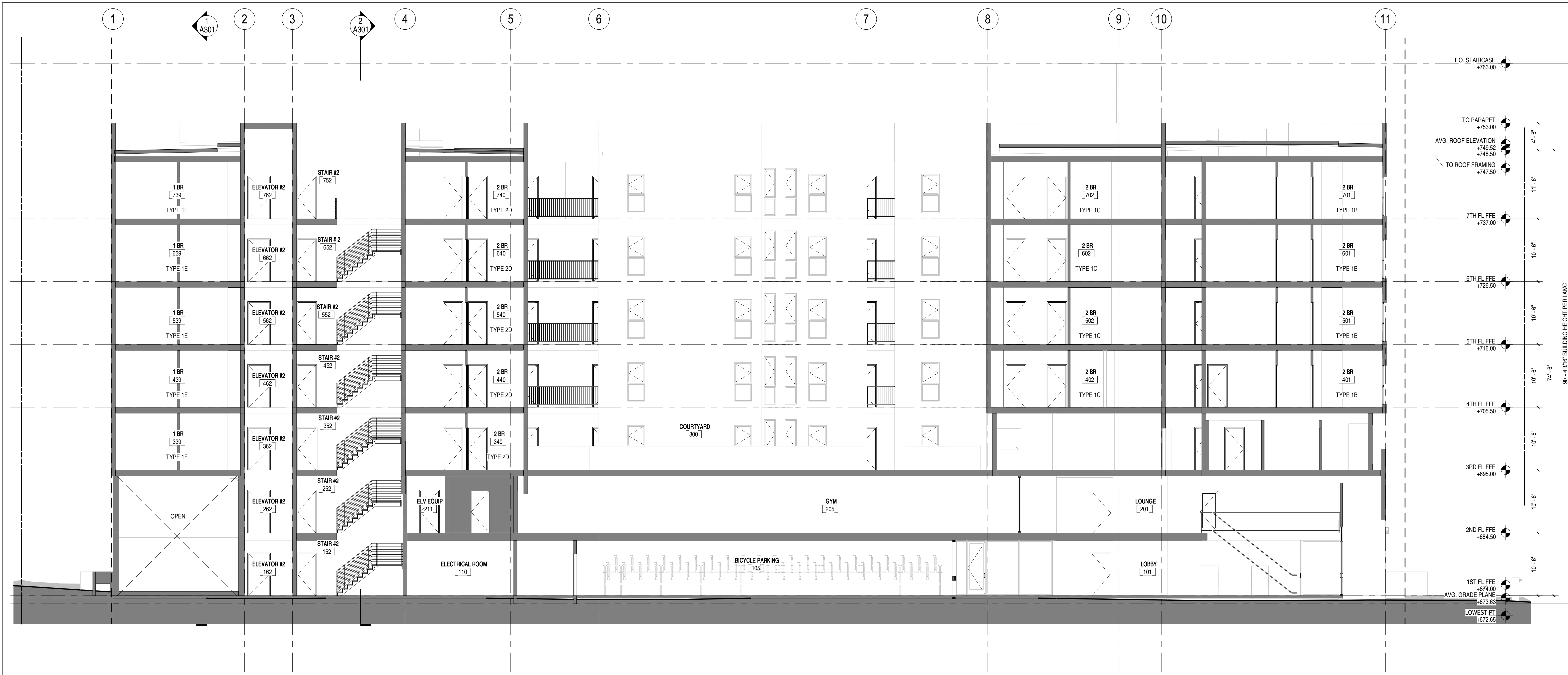
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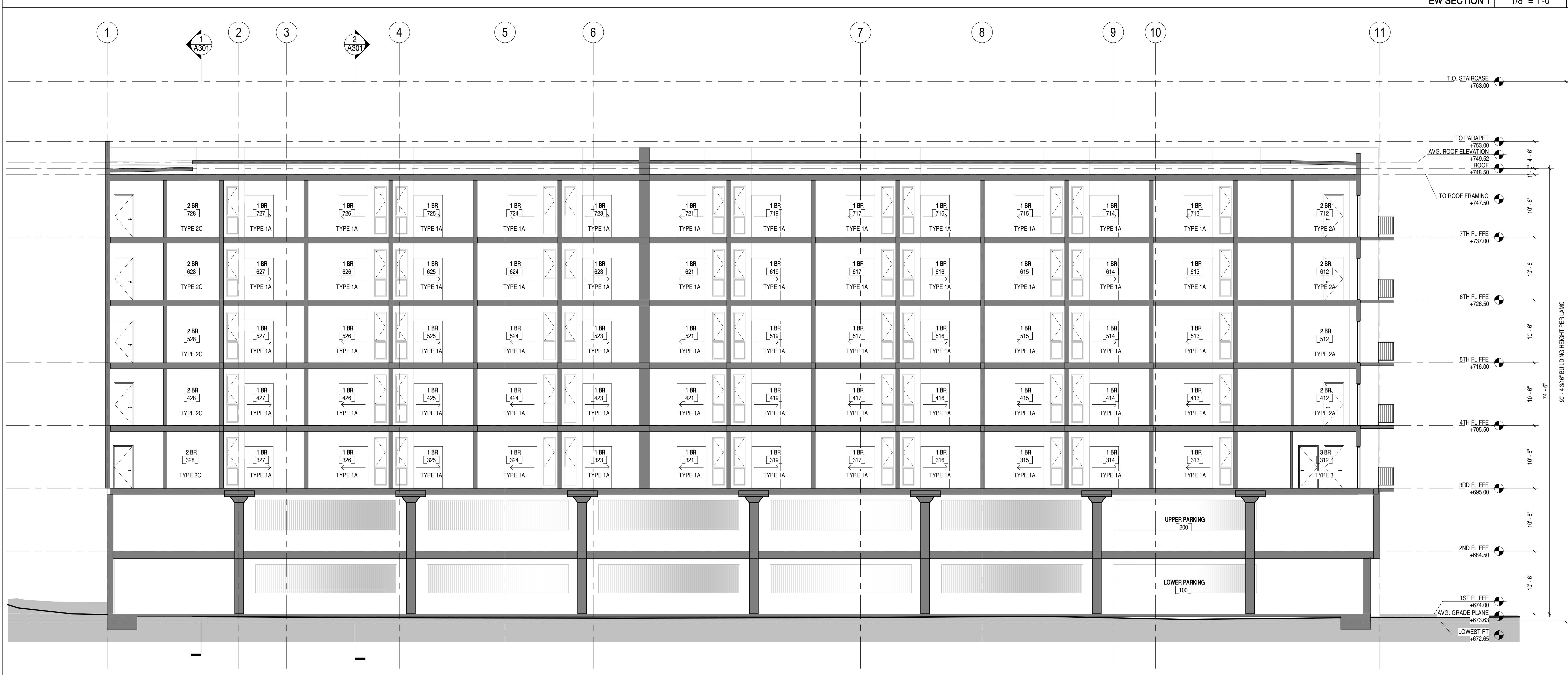
NORTH ELEVATION 1/8" = 1'-0" 2



WEST ELEVATION 1/8" = 1'-0" 1



EW SECTION 1 1/8" = 1'-0" 2



EW SECTION 2 1/8" = 1'-0" 1

KEYNOTES

A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
 B. ALL DIMENSIONS ARE TO CL UNO
 C. ALL DIMENSIONS INDICATED AS 'CLR' ARE FROM FINISH TO FINISH
 D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
 E. GRADE AWAY FROM FOOTINGS, 1% MIN
 F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A FUTURE POLE MOUNT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE EXISTING LOCATION FOR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC' CAL GREEN 4.21.4. ENERGY CODE 11.5.0. REQUIREMENT 16.
 G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
 H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER IBC 211
 I. EDGE FLASHING TO BE 16 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
 K. ROOFING MATERIAL TO BE BALAINEY ROOFING, ECOSASS SOL, PREMIUM, MESQUITE, CLASS-A ROOF COVERING
 L. ROOF TO HAVE A 3 YEAR AGED DR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.25 AND A THERMAL EMITTANCE OF AT LEAST 0.75 PER ILM/C.
 M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER IBC 211
 N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A CONCEALED ASSEMBLY, DRAFT TOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFT TOPS SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER IBC 211
 O. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS PLAIN, LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER IBC 11
 P. PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 11.01
 Q. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH NAPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE LISTED IN SECTION 11.01 (A) (1)
 R. PROVIDE ANTI-DRAFT FINISH WITHIN FIRST 9 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS
 1.

SHEET NOTES

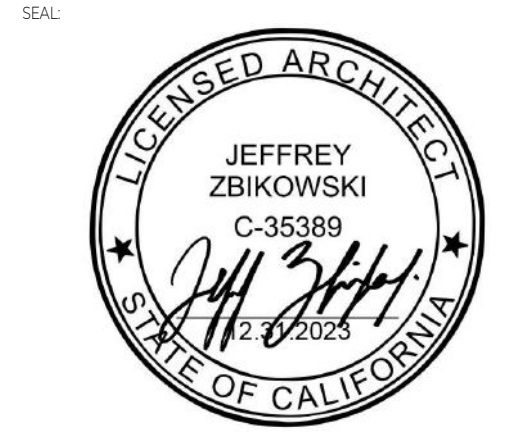
A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
 B. ALL DIMENSIONS ARE TO CL UNO
 C. ALL DIMENSIONS INDICATED AS 'CLR' ARE FROM FINISH TO FINISH
 D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
 E. GRADE AWAY FROM FOOTINGS, 1% MIN
 F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A FUTURE POLE MOUNT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE EXISTING LOCATION FOR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC' CAL GREEN 4.21.4. ENERGY CODE 11.5.0. REQUIREMENT 16.
 G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
 H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER IBC 211
 I. EDGE FLASHING TO BE 16 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
 K. ROOFING MATERIAL TO BE BALAINEY ROOFING, ECOSASS SOL, PREMIUM, MESQUITE, CLASS-A ROOF COVERING
 L. ROOF TO HAVE A 3 YEAR AGED DR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.25 AND A THERMAL EMITTANCE OF AT LEAST 0.75 PER ILM/C.
 M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER IBC 211
 N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A CONCEALED ASSEMBLY, DRAFT TOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFT TOPS SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER IBC 211
 O. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS PLAIN, LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER IBC 11
 P. PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 11.01
 Q. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH NAPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE LISTED IN SECTION 11.01 (A) (1)
 R. PROVIDE ANTI-DRAFT FINISH WITHIN FIRST 9 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS
 1.

LEGEND

NO DROP GYP BOARD CEILING - ATTACHED TO UNDERSIDE OF FRAMING ABOVE
 GYP BOARD DROP CEILING
 PLASTER CEILING
 WOOD POST PER STRUCT DWGS
 SEE SHT A80 FOR WALL TYPES
 EXIT SIGN
 FIRE EXTINGUISHER
 SMOKE DETECTOR
 CARBON MONOXIDE DETECTOR
 BATHROOM EXHAUST
 FAN COIL ACCESS PANEL
 RECESSED LIGHT. SEE ELEC. INTERIOR DWGS
 SURFACE MOUNT LIGHT. SEE ELEC. INTERIOR DWGS
 WALL SCONCE. SEE ELEC. INTERIOR DWGS
 LINEAR LIGHT FIXTURE. SEE ELEC. INTERIOR DWGS



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REVISIONS

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CLIENT NAME:
UNCOMMON DEVELOPERS
 9220 N WINNETKA AVE
 CHATSWORTH, CA 91311

PROJECT NAME:
UNCOMMON ETHEL

NOT FOR CONSTRUCTION
 PROJECT ADDRESS:
 5511 N ETHEL AVE
 SHERMAN OAKS, CA

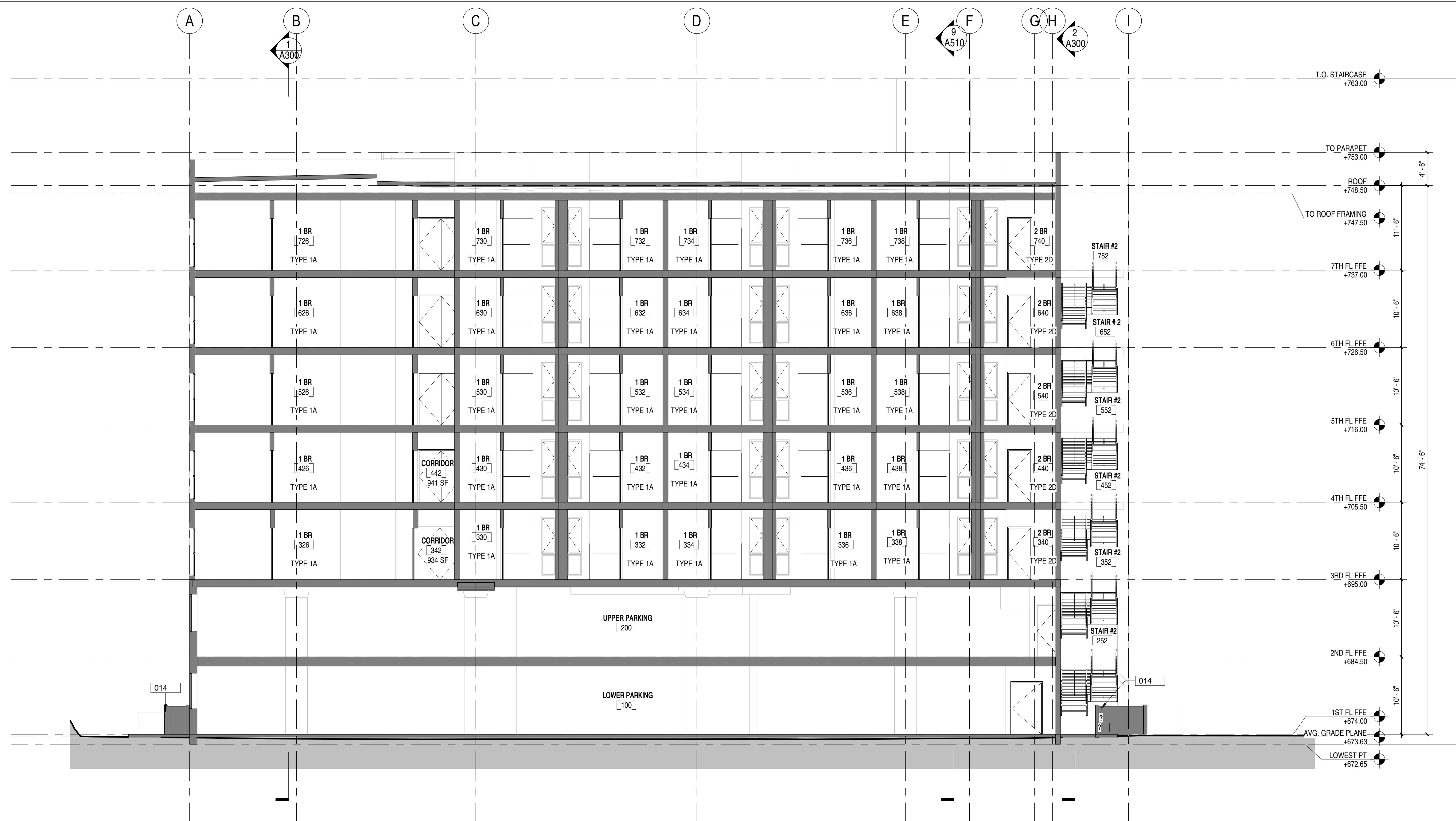
JOB NUMBER:
 2234

DATE:
 5.31.2023

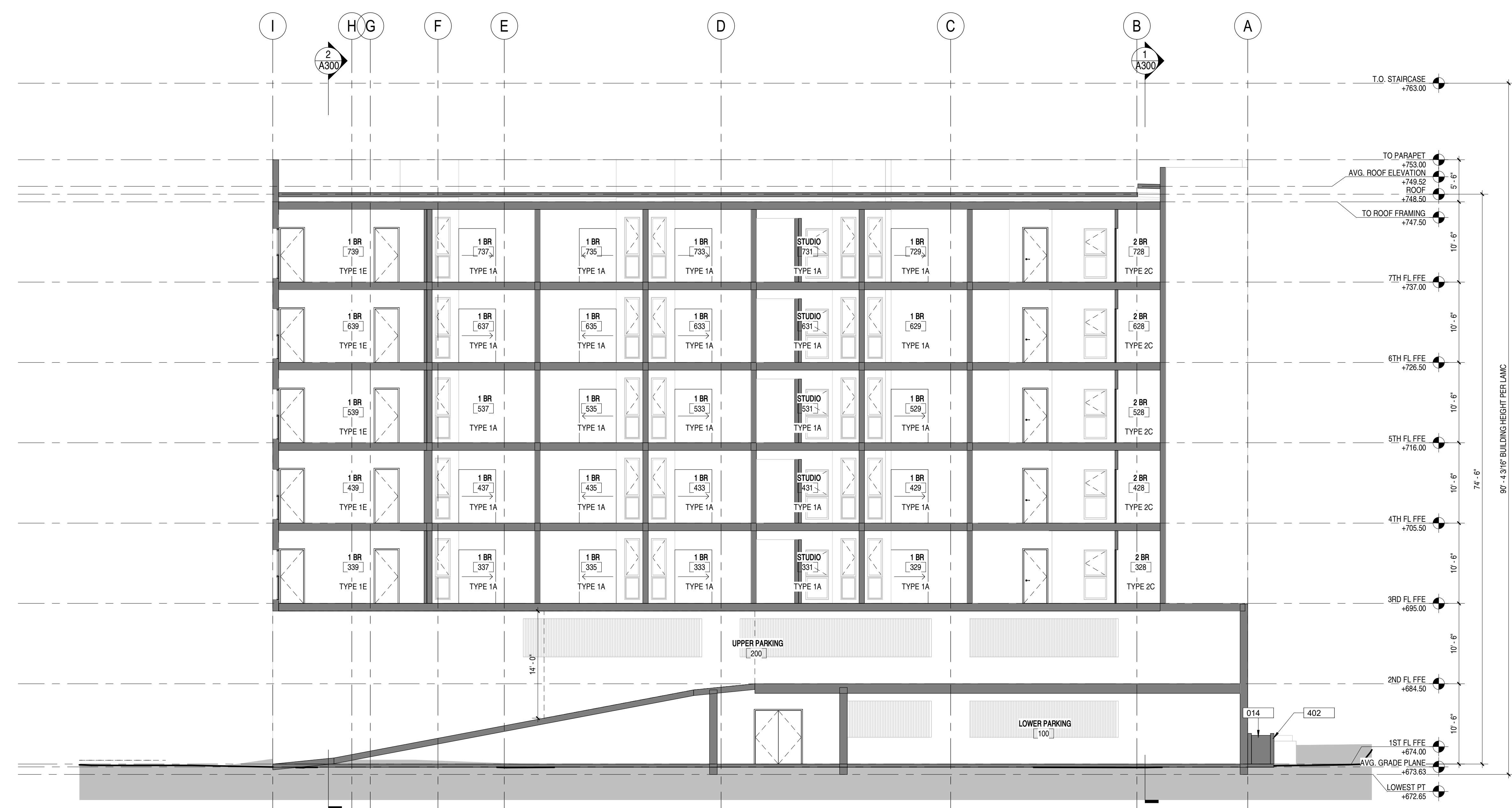
SHEET TITLE:
BUILDING SECTIONS

SHEET NUMBER:
A300

DRAWING SET TITLE:
ENTITLEMENT SET



NS SECTION 1 1/8" = 1'-0" 2



NS SECTION 3 1/8" = 1'-0" 1

KEYNOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO
- C. ALL DIMENSIONS INDICATED AS CLR ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- E. GRADE AWAY FROM FOOTINGS, 1% MIN
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE RPT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 4.21.4 ENERGY CODE 19.1.5.1.4.0 REQUIREMENT NO. 16
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11
- J. EDGE FLASHING TO BE 16 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACADA
- K. ROOFING MATERIAL TO BE MALAKAY ROOFING, ECOSASS SOL, PREMISE - MESQUITE, CLASS-A ROOF COVERING
- L. ROOF TO HAVE A 3 YEAR AGED SR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.35 AND A THERMAL EMITTANCE OF AT LEAST 0.75 PER 404.5
- M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A DROPCELLING ASSEMBLY, DRAFTTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTTOPS SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R302.13
- P. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS PLAINLY VISIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R315.1
- Q. PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 11.1.1.1
- R. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH NAPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 1.0.6 (APP. 1)
- S. PROVIDE ANTI-GRAFFITI FINISH WITH FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS

SHEET NOTES

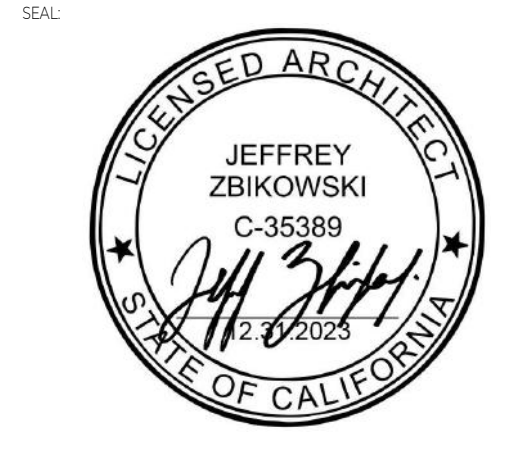
- 1. PROVIDE ANTI-GRAFFITI FINISH WITH FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS

LEGEND

- NO DROP GYP BOARD CEILING - ATTACHED TO UNDERSIDE OF FRAMING ABOVE
- GYP BOARD DROP CEILING
- PLASTER CEILING
- WOOD POST PER STRUCT DWGS
- SEE SHT A300 FOR WALL TYPES
- EXIT SIGN
- FIRE EXTINGUISHER
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST
- FAN COIL ACCESS PANEL
- RECESSED LIGHT. SEE ELEC. INTERIOR DWGS
- SURFACE MOUNT LIGHT. SEE ELEC. INTERIOR DWGS
- WALL SCONCE. SEE ELEC. INTERIOR DWGS
- LINEAR LIGHT FIXTURE. SEE ELEC. INTERIOR DWGS



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PROJECT NAME

UNCOMMON ETHEL

NOT FOR CONSTRUCTION

PROJECT ADDRESS

5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER

2234

DATE

5.31.2023

SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

A301

DRAWING SET TITLE

ENTITLEMENT SET

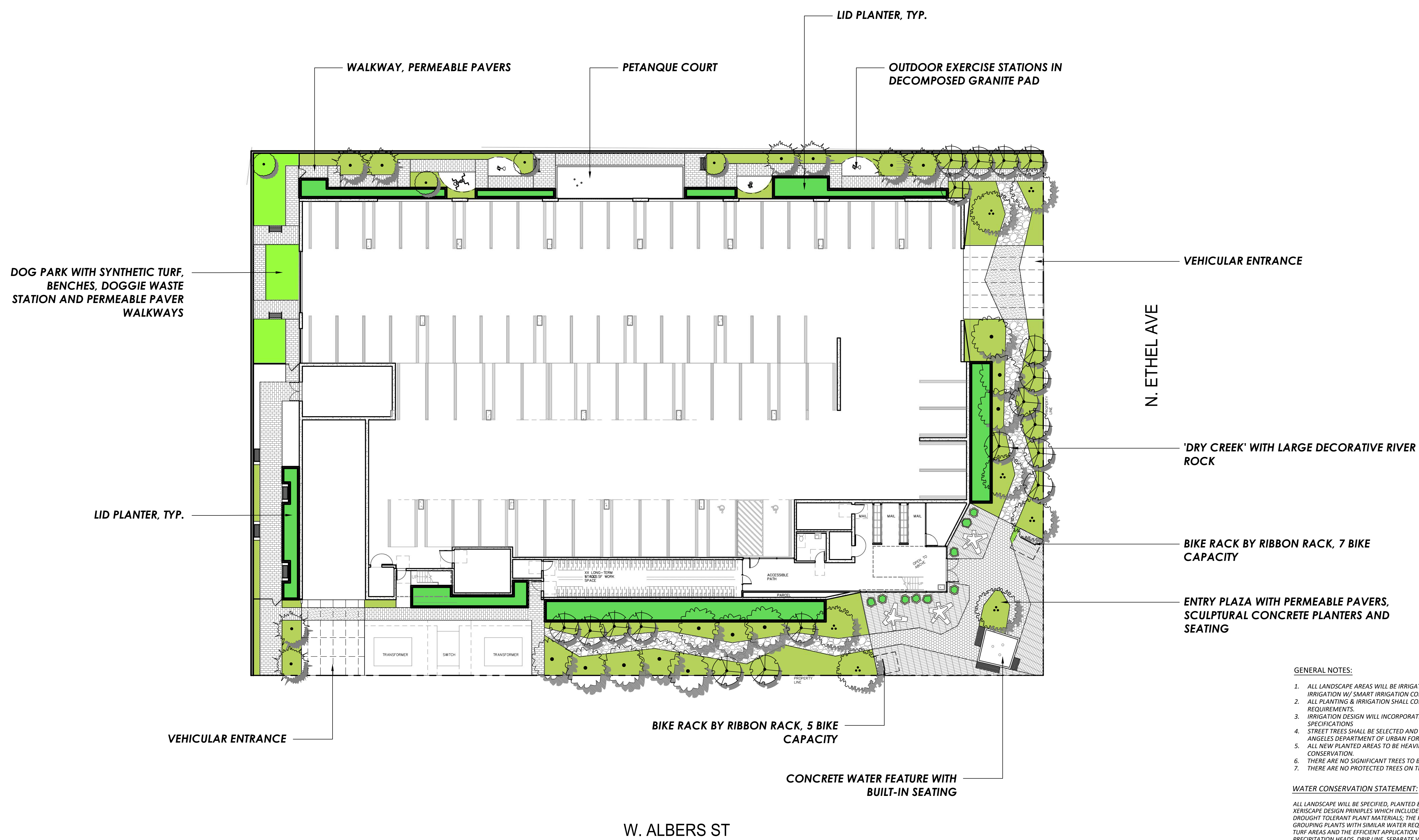
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PLANT LEGEND - GROUND LEVEL

SYMBOL	BOTANICAL NAME "COMMON NAME"	SIZE/QT.	WUCOLS
TREES - 24" BOX MIN.			
	ACACIA ANEUA "MULGA"	24"BOX/2	LOW
	ARBUTUS MARINA "STRAWBERRY TREE"	24"BOX/8	LOW
	CERCIDIUM ' DESERT MUSEUM' "DESERT MUSEUM PALO VERDE"	24"BOX/18	VERY LOW
	CERCIS OCCIDENTALIS "WESTERN REDBUD"	24"BOX/4	LOW
	OLEA EUROPAEA "OLIVE"	24"BOX/7	LOW

SHRUBS & GROUND COVERS

	BOTANICAL NAME "COMMON NAME"	SIZE	WUCOLS
	ANIGOZANTHOS SPECIES "KANGAROO PAW"	5 GAL.	MODERATE
	ARISTIDA PURPUREA "PURPLE THREE AWN"	5 GAL.	VERY LOW
	CALANDRINA GRANDIFLORA "ROCK PURSLANE"	5 GAL.	LOW
	CISTUS SPECIES "ROCKROSE"	5 GAL.	LOW
	DIETES SPECIES "FORTNIGHT LILY"	5 GAL.	LOW
	GREVILLEA NOELLI "NOEL'S GREVILLEA"	5 GAL.	LOW
	HESPERALOE SPECIES "YUCCA"	5 GAL.	VERY LOW
	JUNIPERUS SPECIES "JUNIPER"	5 GAL.	LOW
	KALANCHOE BEHARENSIS "ELEPHANT EARS"	5 GAL.	LOW
	LAVANDULA SPECIES "LAVENDER"	5 GAL.	LOW
	MUHLENBERGIA SPECIES "MUHLY"	5 GAL.	LOW
	PELARGONIUM SPECIES "GERANIUM"	5 GAL.	LOW
	PENNISSETUM SPECIES "FOUNTAIN GRASS"	5 GAL.	LOW
	PHORMIUM SPECIES "NEW ZEALAND FLAX"	5 GAL.	LOW
	SALVIA SPECIES "SAGE"	5 GAL.	LOW
	SEDUM SPECIES "STONE CROP"	5 GAL.	LOW
	SENECIO SPECIES "CHALKSTICKS"	5 GAL.	LOW
	WESTRINGIA SPECIES "COAST ROSEMARY"	5 GAL.	LOW



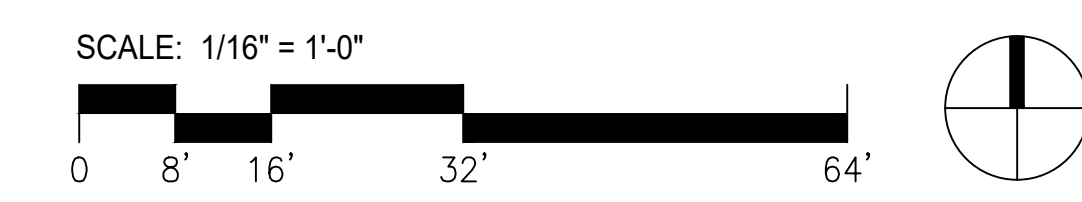
- GENERAL NOTES:**
- ALL LANDSCAPE AREAS WILL BE IRRIGATED BY A HIGH EFFICIENCY IRRIGATION W/ SMART IRRIGATION CONTROLS.
 - ALL PLANTING & IRRIGATION SHALL COMPLY WITH CITY OF LOS ANGELES REQUIREMENTS.
 - IRRIGATION DESIGN WILL INCORPORATE EPA WATERSENSE SPECIFICATIONS.
 - STREET TREES SHALL BE SELECTED AND INSTALLED PER CITY OF LOS ANGELES DEPARTMENT OF URBAN FORESTRY.
 - ALL NEW PLANTED AREAS TO BE HEAVILY MULCHED FOR WATER CONSERVATION.
 - THERE ARE NO SIGNIFICANT TREES TO BE REMOVED ON THE SITE.
 - THERE ARE NO PROTECTED TREES ON THE SITE.

WATER CONSERVATION STATEMENT:
ALL LANDSCAPE WILL BE SPECIFIED, PLANTED & IRRIGATED ACCORDING TO XERISCAPE DESIGN PRINCIPLES WHICH INCLUDE: THE PREDOMINANT USE OF DROUGHT TOLERANT PLANT MATERIALS, THE PRACTICE OF HYDROZONING OR GROUPING PLANTS WITH SIMILAR WATER REQUIREMENTS TOGETHER, MINIMIZING TURF AREAS AND THE EFFICIENT APPLICATION OF WATER BY USING MATCH PRECIPITATION HEADS, DRIP LINE, SEPARATE VALVES FOR TURF AND GROUND COVER AREAS AND RAIN SHUT OFF DEVICES. THIS PROJECT WILL COMPLY WITH THE STATE WATER CONSERVATION ORDINANCE EFFECTIVE JANUARY 1, 2010.

LANDSCAPE AREA	
LEVEL 1	
PLANTERS	= 3,709 S.F.
LID PLANTERS	= 1,333 S.F.
DRY CREEK	= 1,115 S.F.
LEVEL 3	
PLANTERS	= 710 S.F.
LID PLANTERS	= 481 S.F.
TOTAL LANDSCAPE AREA PROVIDED	= 7,466 S.F.

OUTDOOR COMMON OPEN SPACE	
OUTDOOR COMMON OPEN SPACE PROVIDED LEVEL 1	= 7,280 S.F.
MINIMUM (25%) REQUIRED LANDSCAPE AREA LEVEL 1	= 1,820 S.F.
LANDSCAPE AREA PROVIDED LEVEL 1	= 3,417 S.F.
OUTDOOR COMMON OPEN SPACE PROVIDED LEVEL 3	= 4,770 S.F.
MINIMUM (25%) REQUIRED LANDSCAPE AREA LEVEL 3	= 1,194 S.F.
LANDSCAPE AREA PROVIDED LEVEL 3	= 1,240 S.F.

TREE COUNT SUMMARY	
TOTAL NO. OF UNITS	= 200
NO. OF TREES (24" BOX MIN.) REQUIRED 1 PER 4 UNITS	= 50
NO. OF TREES (24" BOX MIN.) PLANTED:	
LEVEL 1	= 49
LEVEL 3	= 14
TOTAL PROVIDED	= 63

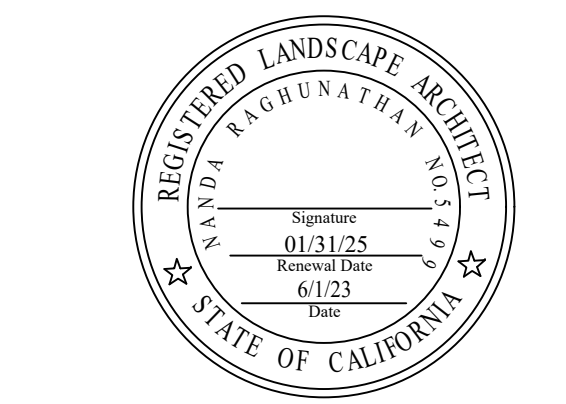


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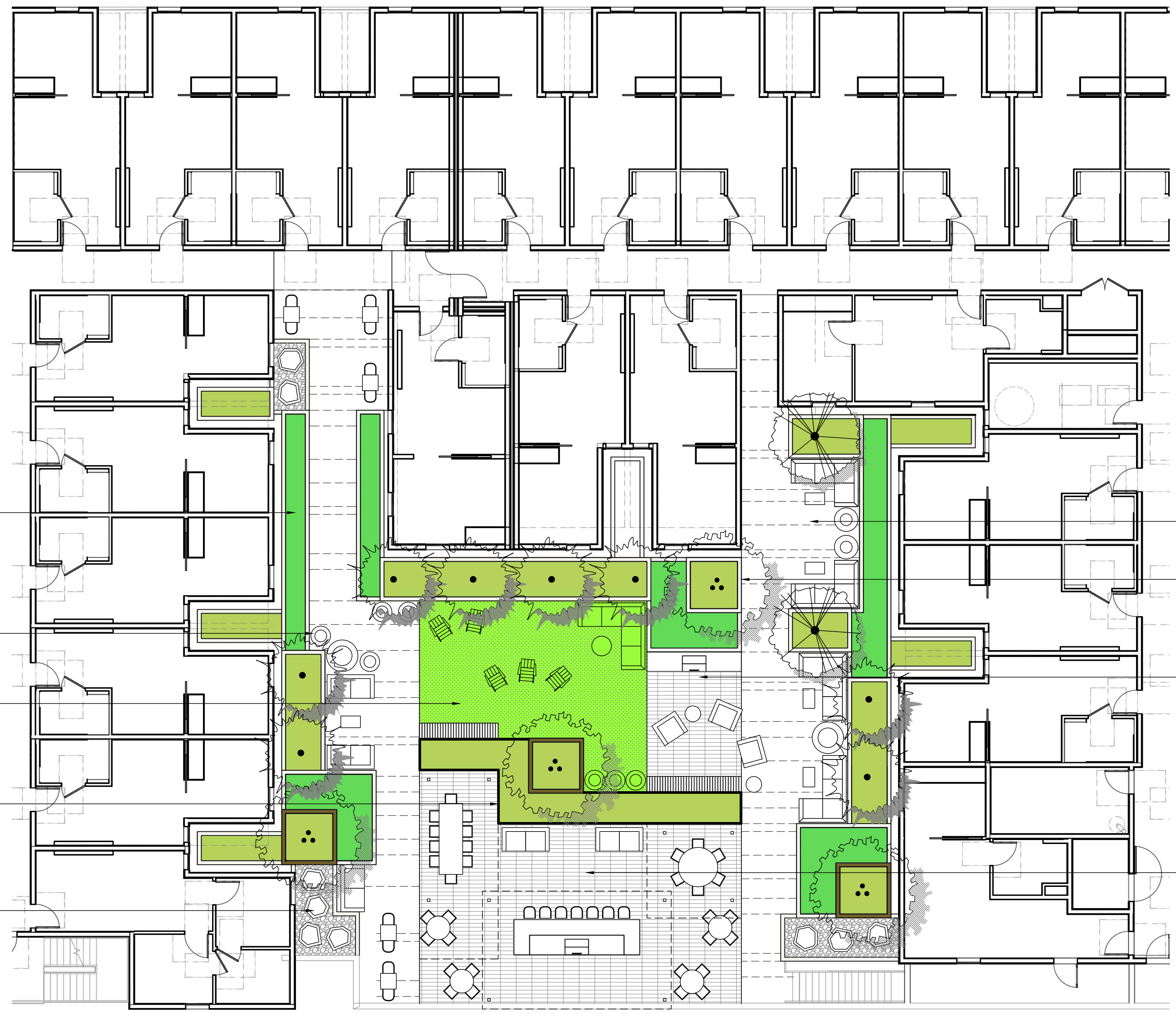
JOB NUMBER:
2234

DATE:
5.31.2023

SHEET TITLE:
GROUND LEVEL

SHEET NUMBER:
L1

DRAWING SET TITLE:
ENTITLEMENT SET



LID PLANTERS, TYP.

DECORATIVE FIBERGLASS POTS, TYP.

SYNTHETIC TURF FLEX-DECK FOR YOGA, SUNNING ETC.

METAL PLANTER IN ACCENT COLOR W/ CANTILEVERED WOOD BENCH

DECORATIVE CONCRETE POTS IN RIVER ROCK COBBLE, TYP.

LOUNGE AREA

TALL PLANTER WITH ACCENT TREE, TYP.

BBQ COUNTER

COMMUNAL DINING AREA WITH BAR/BBQ COUNTER, ENHANCED PAVING AND METAL TRELLIS ABOVE.

W. ALBERS ST

PLANT LEGEND - LEVEL 3

SYMBOL	BOTANICAL NAME "COMMON NAME"	SIZE/QT.	WUCOLS RATING
TREES - 24" BOX MIN.			
	FEJOA SELLOWIANA "PINEAPPLE GUAVA"	24"BOX/2	LOW
	OLEA EUROPAEA "OLIVE"	24"BOX/4	LOW
	PRUNUS ILICIFOLIA LYONII "CATALINA CHERRY"	24"BOX/4	LOW
SHRUBS & GROUND COVERS			
	BOTANICAL NAME "COMMON NAME"	SIZE	WUCOLS
	ANIGOZANTHOS SPECIES "KANGAROO PAW"	5 GAL.	MODERATE
	ARISTIDA PURPUREA "PURPLE THREE AWN"	5 GAL.	VERY LOW
	CALANDRINA GRANDIFLORA "ROCK PURSLANE"	5 GAL.	LOW
	CISTUS SPECIES "ROCKROSE"	5 GAL.	LOW
	DIETES SPECIES "FORTNIGHT LILY"	5 GAL.	LOW
	GREVILLEA NOELLI "NOEL'S GREVILLEA"	5 GAL.	LOW
	HESPERALOE SPECIES "YUCCA"	5 GAL.	VERY LOW
	JUNIPERUS SPECIES "JUNIPER"	5 GAL.	LOW
	KALANCHOE BEHARENSIS "ELEPHANT EARS"	5 GAL.	LOW
	LAVANDULA SPECIES "LAVENDER"	5 GAL.	LOW
	MUHLENBERGIA SPECIES "MUHLY"	5 GAL.	LOW
	PELARGONIUM SPECIES "GERANIUM"	5 GAL.	LOW
	PENNISETUM SPECIES "FOUNTAIN GRASS"	5 GAL.	LOW
	PHORMIUM SPECIES "NEW ZEALAND FLAX"	5 GAL.	LOW
	SALVIA SPECIES "SAGE"	5 GAL.	LOW
	SEDUM SPECIES "STONE CROP"	5 GAL.	LOW
	SENECIO SPECIES "CHALKSTICKS"	5 GAL.	LOW
	WESTRINGIA SPECIES "COAST ROSEMARY"	5 GAL.	LOW

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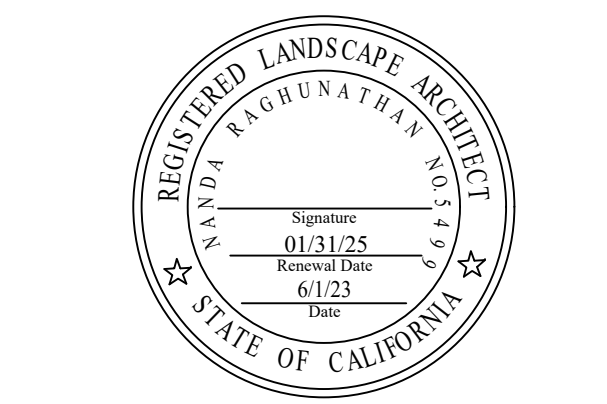
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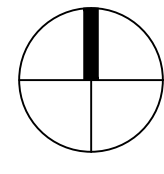
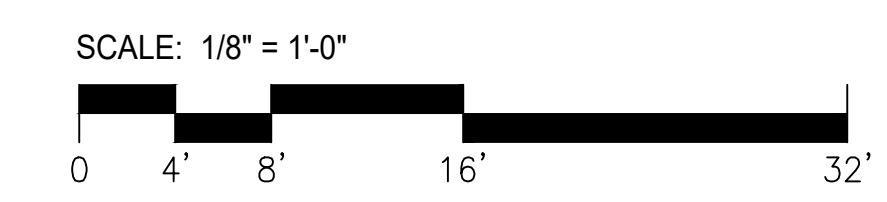
JOB NUMBER:
2234

DATE:
5.31.2023








SHEET TITLE:
LEVEL 3

SHEET NUMBER:
L2

DRAWING SET TITLE:
ENTITLEMENT SET





TREES

						
ACACIA ANEURA "MULGA"	FEIJOA SELLOWIANA "PINEAPPLE GUAVA"	ARBUTUS 'MARINA' "MARINA STRAWBERRY TREE"	CERCIDIUM 'DESERT MUSEUM' "DESERT MUSEUM PALO VERDE"	CERCIS OCCIDENTALIS "WESTERN REDBUD"	OLEA EUROPAEA "FRUITLESS OLIVE"	PRUNUS ILICIFOLIA LYONII "CATALINA CHERRY"

SHRUBS AND GROUND COVERS

								
ANIGOZANTHOS SPECIES "KANGAROO PAW"	ARISTIDA PURPUREA "PURPLE THREE AWN"	CALANDRINA GRANDIFLORA "ROCK PURSLANE"	CISTUS SPECIES "ROCKROSE"	DIETES SPECIES "FORTNIGHT LILY"	GREVILLEA NOELLI "NOEL'S GREVILLEA"	HESPERALOE SPECIES "YUCCA"	JUNIPERUS SPECIES "JUNIPER"	KALANCHOE BEHARENSIS "ELEPHANT EARS"

SHRUBS AND GROUND COVERS

								
LAVANDULA SPECIES "LAVENDER"	LEYMUS CONDENSATUS 'CANYON PRINCE' "CANYON PRINCE WILD RYE"	MUHLENBERGIA SPECIES "MUHLY"	PELARGONIUM SPECIES "GERANIUM"	PENNISETUM SPECIES "FOUNTAIN GRASS"	PHORMIUM SPECIES "NEW ZEALAND FLAX"	SALVIA SPECIES "SAGE"	SEDUM SPECIES "STONE CROP"	SENECIO SPECIES "CHALKSTICKS"

SHRUBS AND GROUND COVERS


WESTRINGIA SPECIES "COAST ROSEMARY"

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SHEET TITLE:
PLANT IMAGES

SHEET NUMBER:
L3
DRAWING SET TITLE:
ENTITLEMENT SET