

# COMMUNITY-BASED HOUSING SOLUTIONS

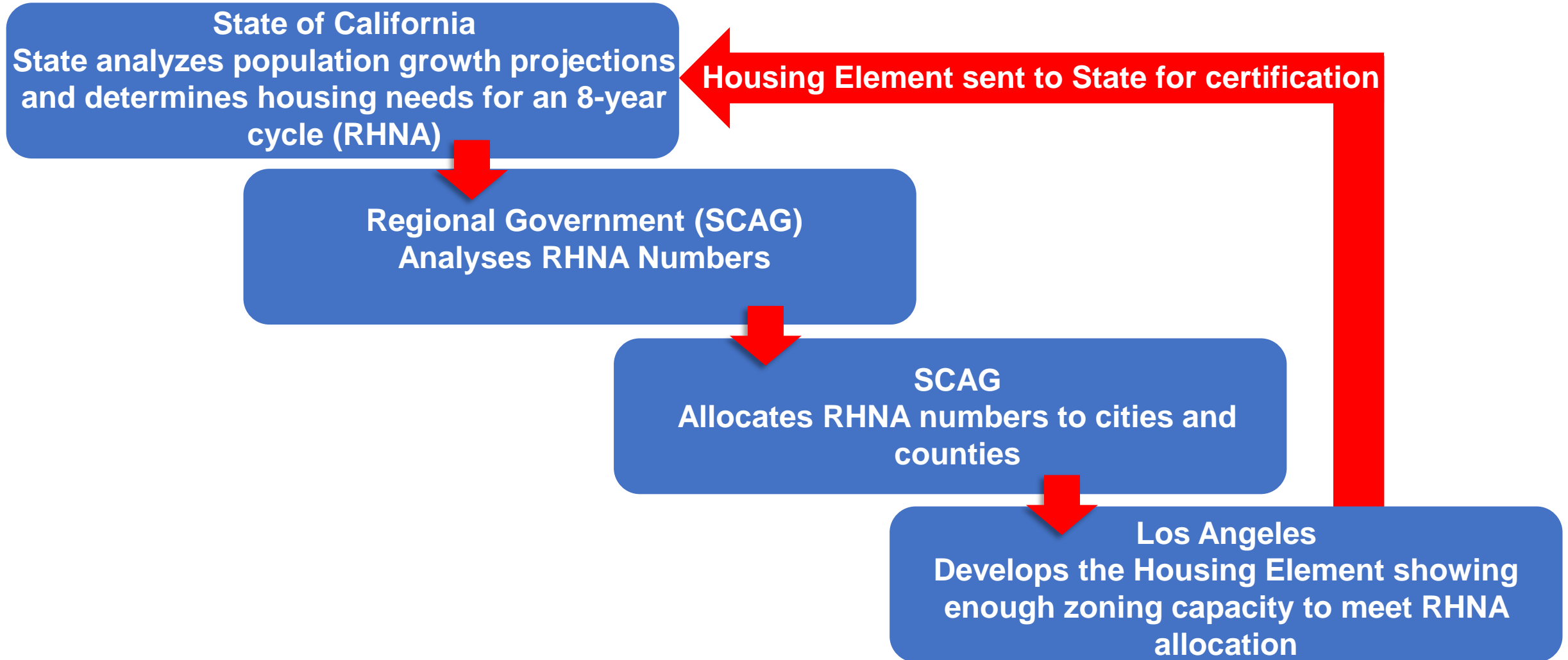


Presentation to  
**VANC TOWNHALL**

October 14, 2023

United Neighbors

# State of California Regional Housing Needs Assessment RHNA





# STATE MANDATE



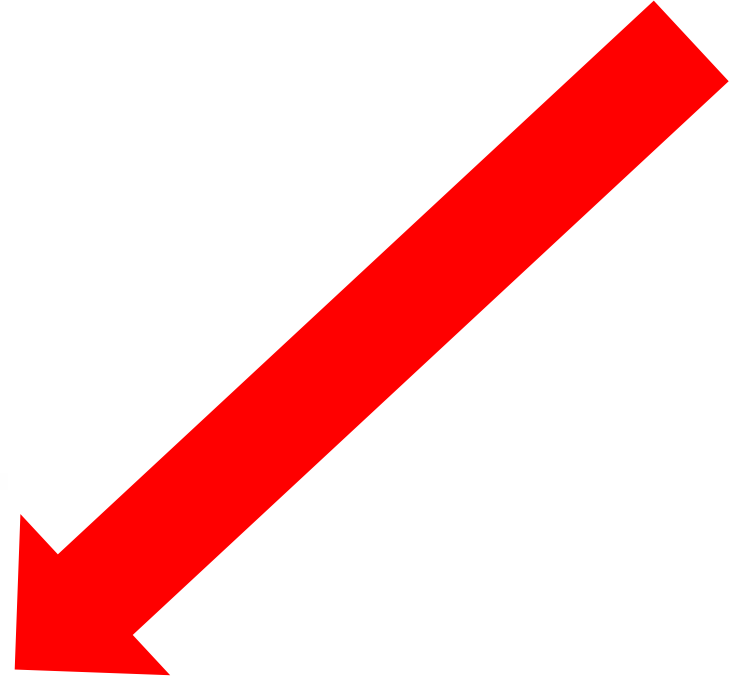
- LA is required to zone for 456,000 housing units in this RHNA cycle
- LA Planning added a 7% cushion making it 485,000 units
- LA identified existing zoning will accommodate 230,000 units.
- *LA must rezone for the remaining **255,000** units.*

Planning Dept. rezoning strategy

Table 4.19 Results from Rezoning Inventory Model

Rezoning Strategy	Parcel Count	Very Low Income Units	Low Income Units	Moderate Income Units	Above Moderate Income Units	Total Units
Community and Neighborhood Planning (CPU)	33,749	90,473	90,473	2,121	444,572	627,638
Residential Opportunity Corridors (OPP RC)	3,477	29,093	29,093	0	16,901	74,903
Opportunity Avenues (OPP RC2)	5,316	0	0	23,643	12	23,643
Commercial Opportunity Corridors (OPP C)	667	1,194	1,194	0	2,859	5,248
Transit Opportunity Corridor Areas (TOPP C)	272	0	0	0	1,022	1,022
TOC Expansion in Higher Opportunity Areas (TOC EXP)	11,792	287,811	27,811	0	94,780	150,402
50% Density Bonus (DB50)	18,908	123,699	123,699	250	153,892	401,540
Parking Zones (P)	1,032	1,978	1,978	0	780	4,736
Adaptive Reuse (ARO)	10,153	4,747	4,747	1,595	32,039	43,128
Micro Unit Regional Center (MURC)	1,250	3,417	3,417	43	14,518	21,639
Accessory Dwelling Units (ADU)	48,797	0	0	4,141	0	4,141
R2/RD Zone Update (R2RD)	64,570	0	0	18,080	0	18,079
Affordable Housing Overlay (AHO)	34,034	10,198	10,198	0	25,120	45,516
Public Facility Zone (PF)	6,407	2,072	2,072	0	2,972	7,116
Faith-Based Owned Properties (FBO)	2,865	1,273	1,273	0	1,006	3,552
<b>Total</b>	<b>243,245</b>	<b>297,433</b>	<b>297,433</b>	<b>49,872</b>	<b>790,461</b>	<b>1,432,059</b>

To meet RHNA's requirement of **255,000 units**, Planning proposes rezoning for **1,400,000 units**.



Total= 1,432,059 units (5.6 times more housing than required)

Charts from 2021-2029 Housing Element L.A. City Planning Department





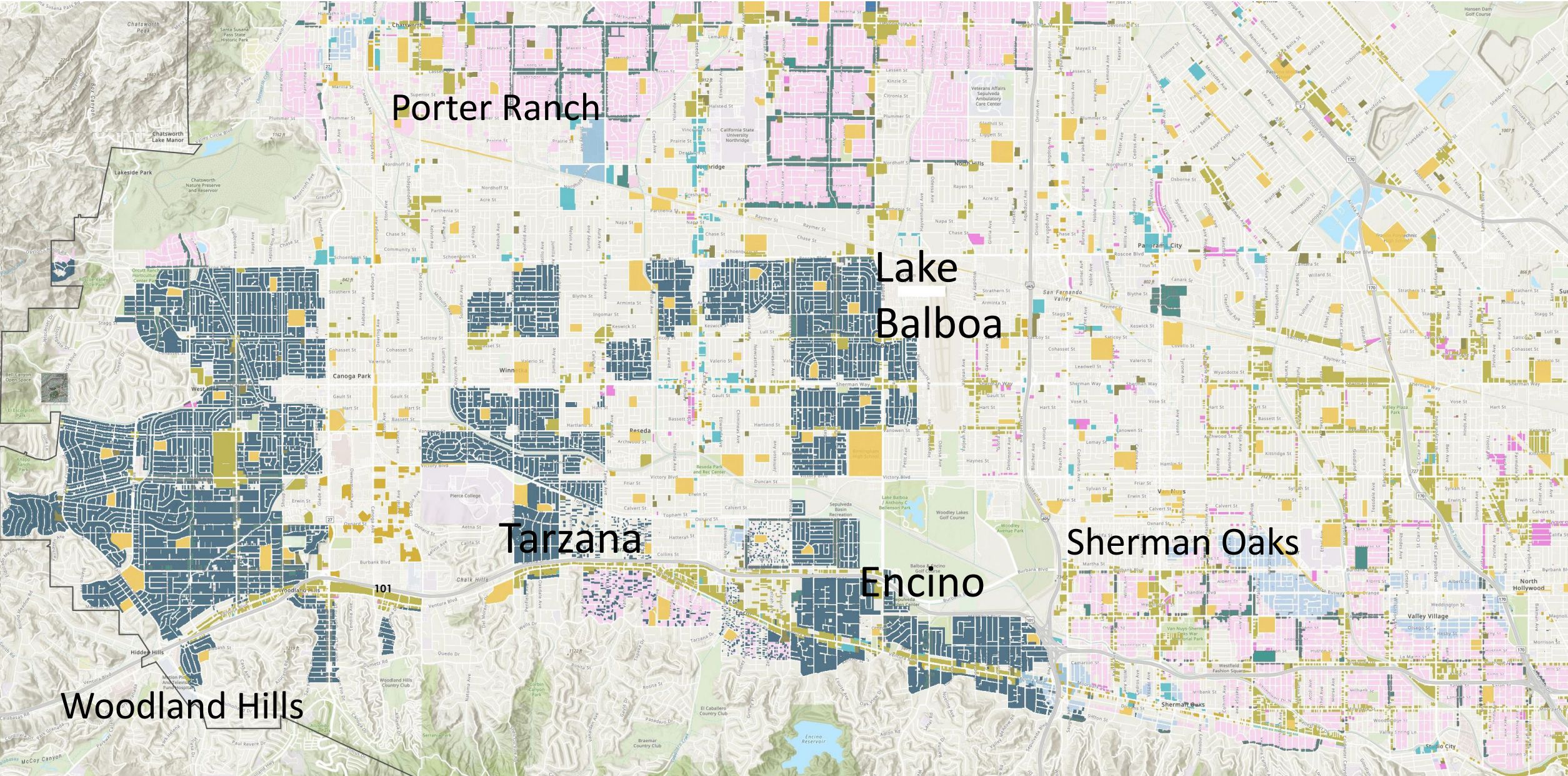
Single-Family

Commercial Corridor

- **To reach the 1.4M units, Planning is up-zoning single-family and multi-family neighborhoods without fully identifying all the opportunities on the commercial corridors and public lands.**



# Rezoning Multi-family and single-family neighborhoods happens like this...



Porter Ranch

Lake Balboa

Tarzana

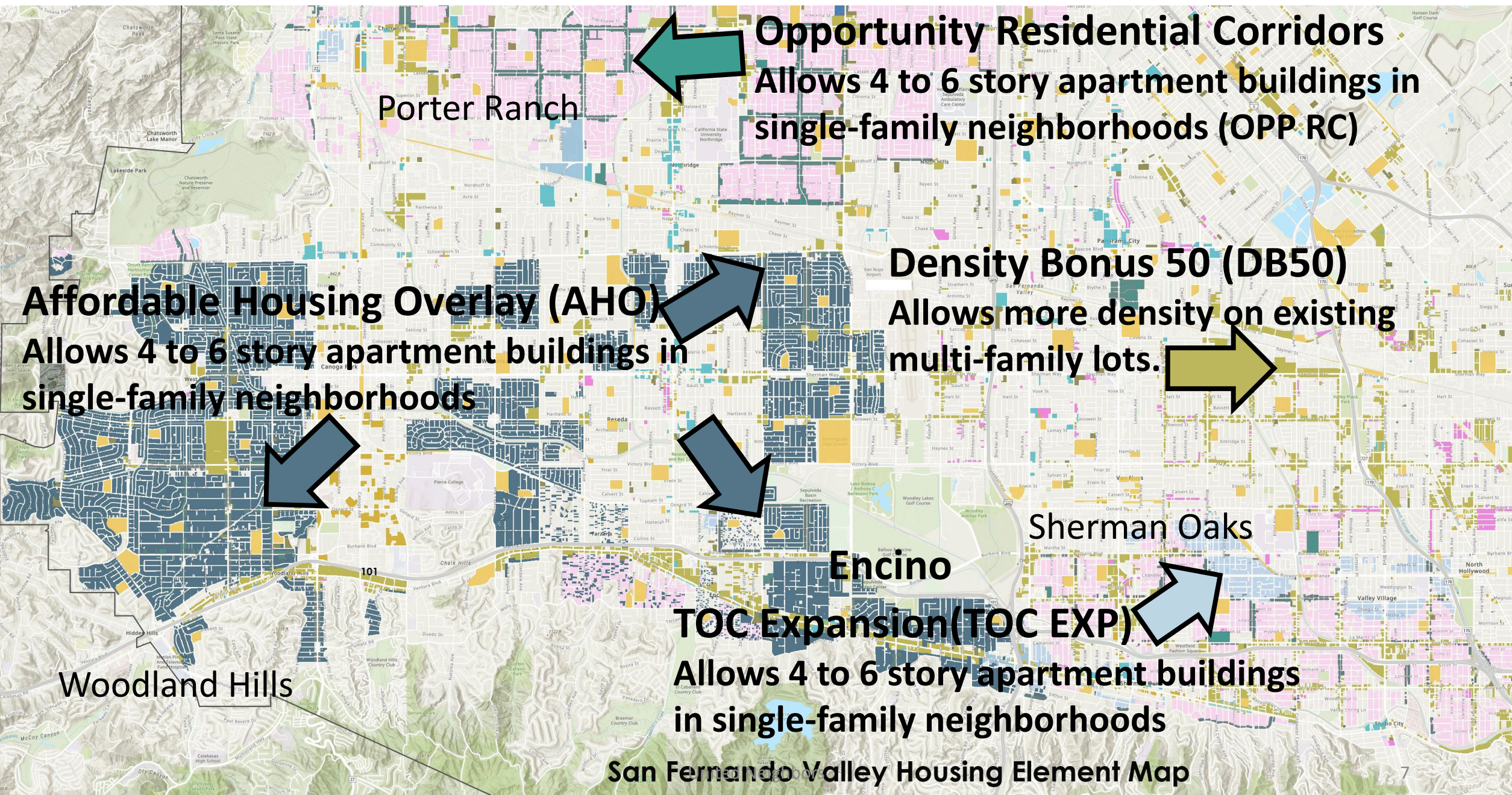
Sherman Oaks

Encino

Woodland Hills



# Rezoning Multi-family and single-family neighborhoods happens like this...



Porter Ranch

**Opportunity Residential Corridors**  
Allows 4 to 6 story apartment buildings in single-family neighborhoods (OPP-RC)

**Affordable Housing Overlay (AHO)**  
Allows 4 to 6 story apartment buildings in single-family neighborhoods

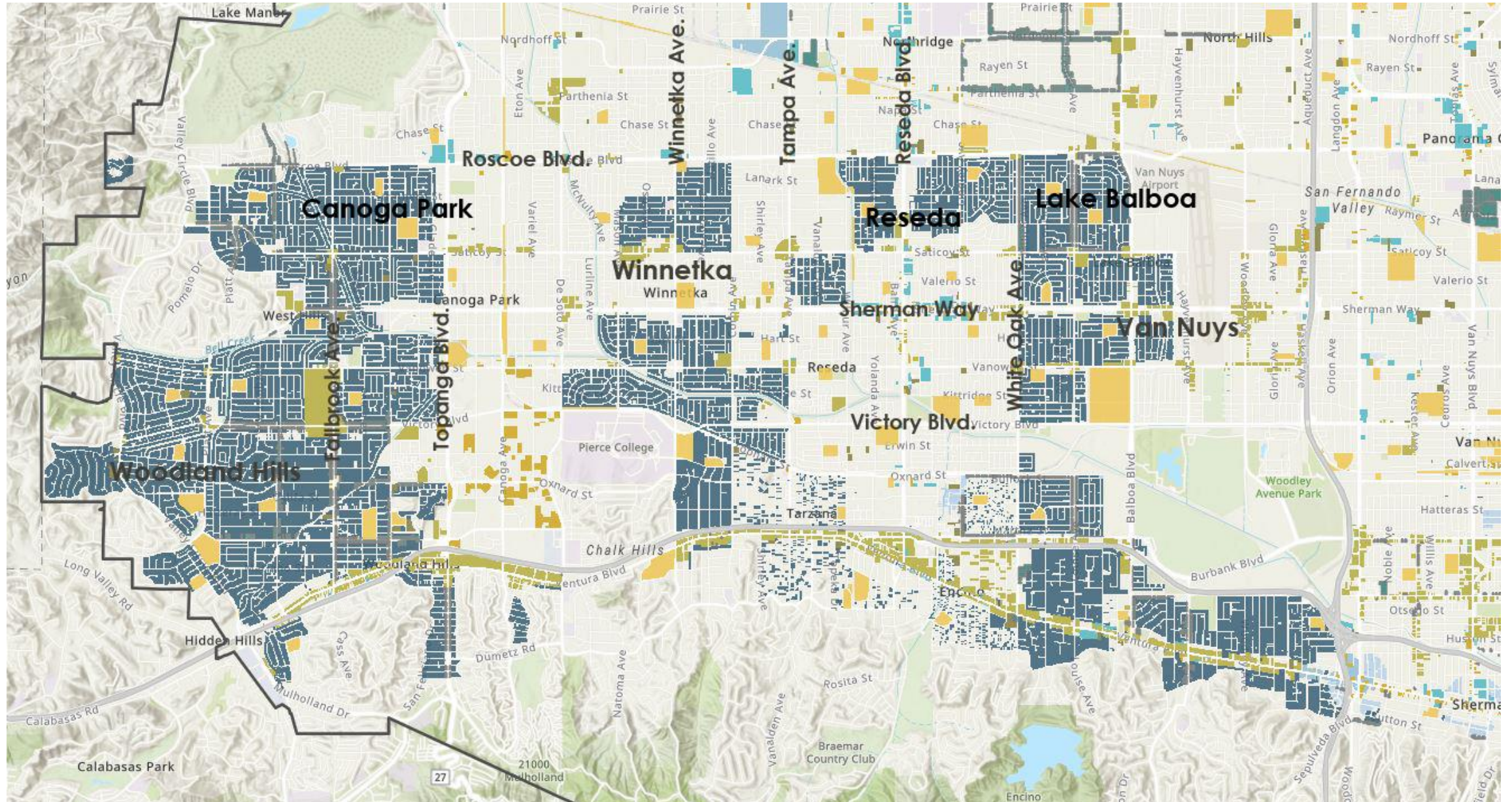
**Density Bonus 50 (DB50)**  
Allows more density on existing multi-family lots.

Woodland Hills

**Encino**  
**Sherman Oaks**  
**TOC Expansion (TOC EXP)**  
Allows 4 to 6 story apartment buildings in single-family neighborhoods

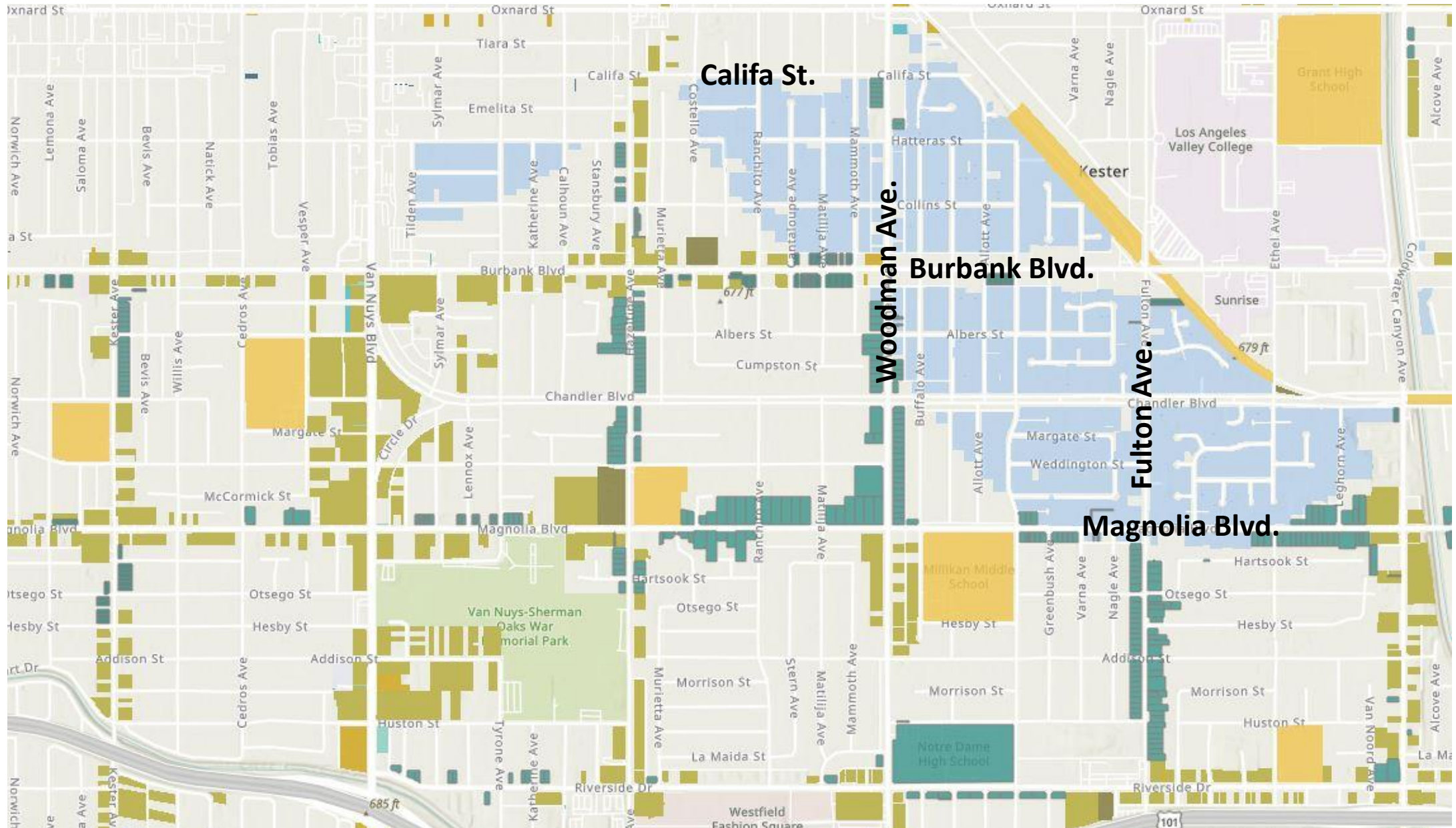


# West San Fernando Valley Housing Element – Interactive Map



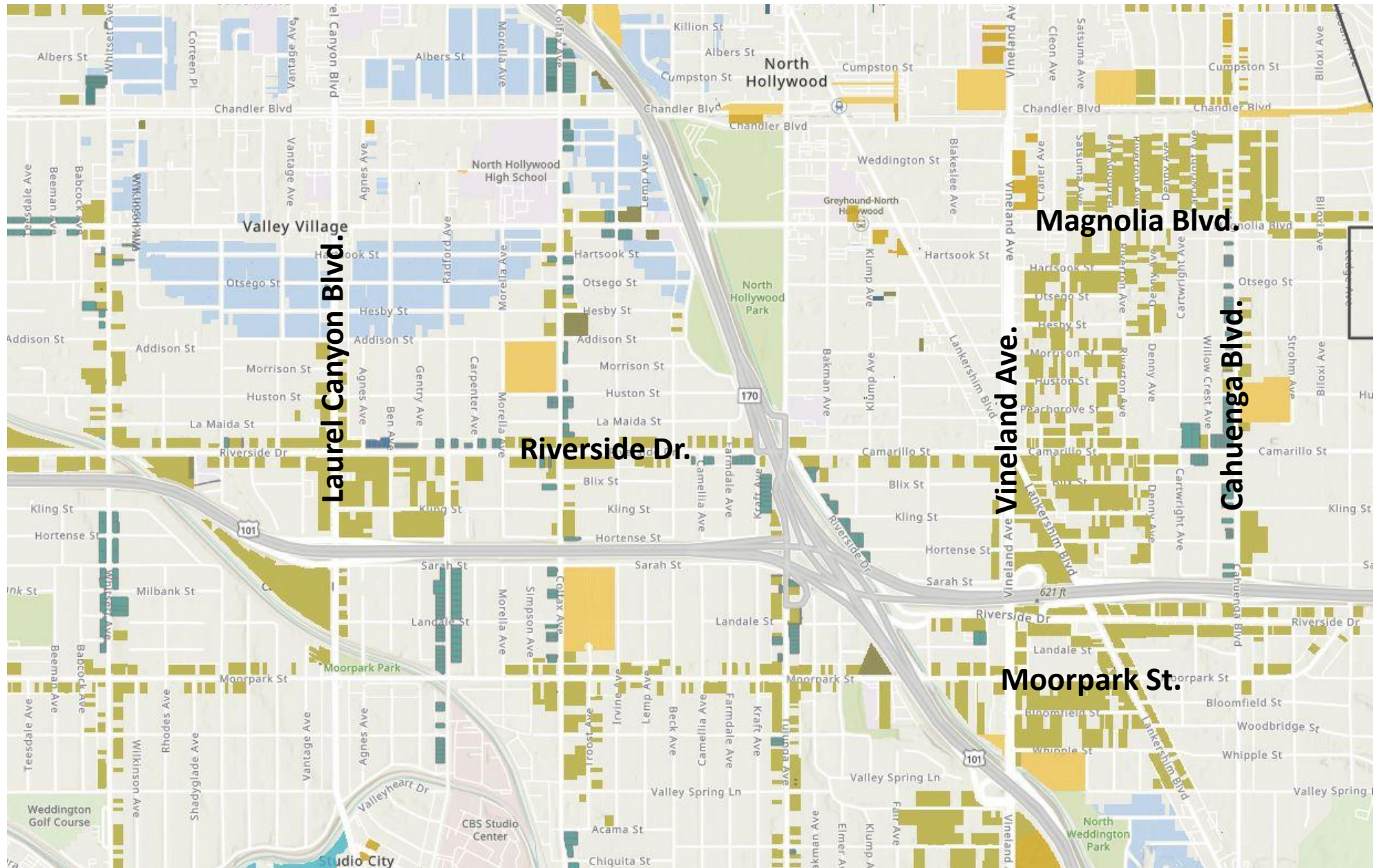


# Southwest Sherman Oaks/Van Nuys Housing Element – Interactive Map





# Valley Village/Toluca Lake Housing Element – Interactive Map





**Density Bonus 50 (DB50) will allow greater density in multi-family neighborhoods.**



**Eliminating older more affordable units and causing displacement.**



**Density Bonus 50 (DB50) will allow greater density in multi-family neighborhoods.**



**Eliminating older more affordable units and causing displacement.**



**TOC EXP, OPP RC, & AHO will allow 4-6 story apartments in single-family neighborhoods**



United Neighbors



**TOC EXP, OPP RC, & AHO will allow 4-6 story apartments in single-family neighborhoods**



**This is now economically feasible.**



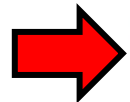
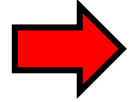
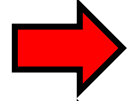
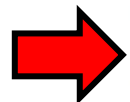
**If the proposed rezoning goes ahead, this will happen in every single-family neighborhood**





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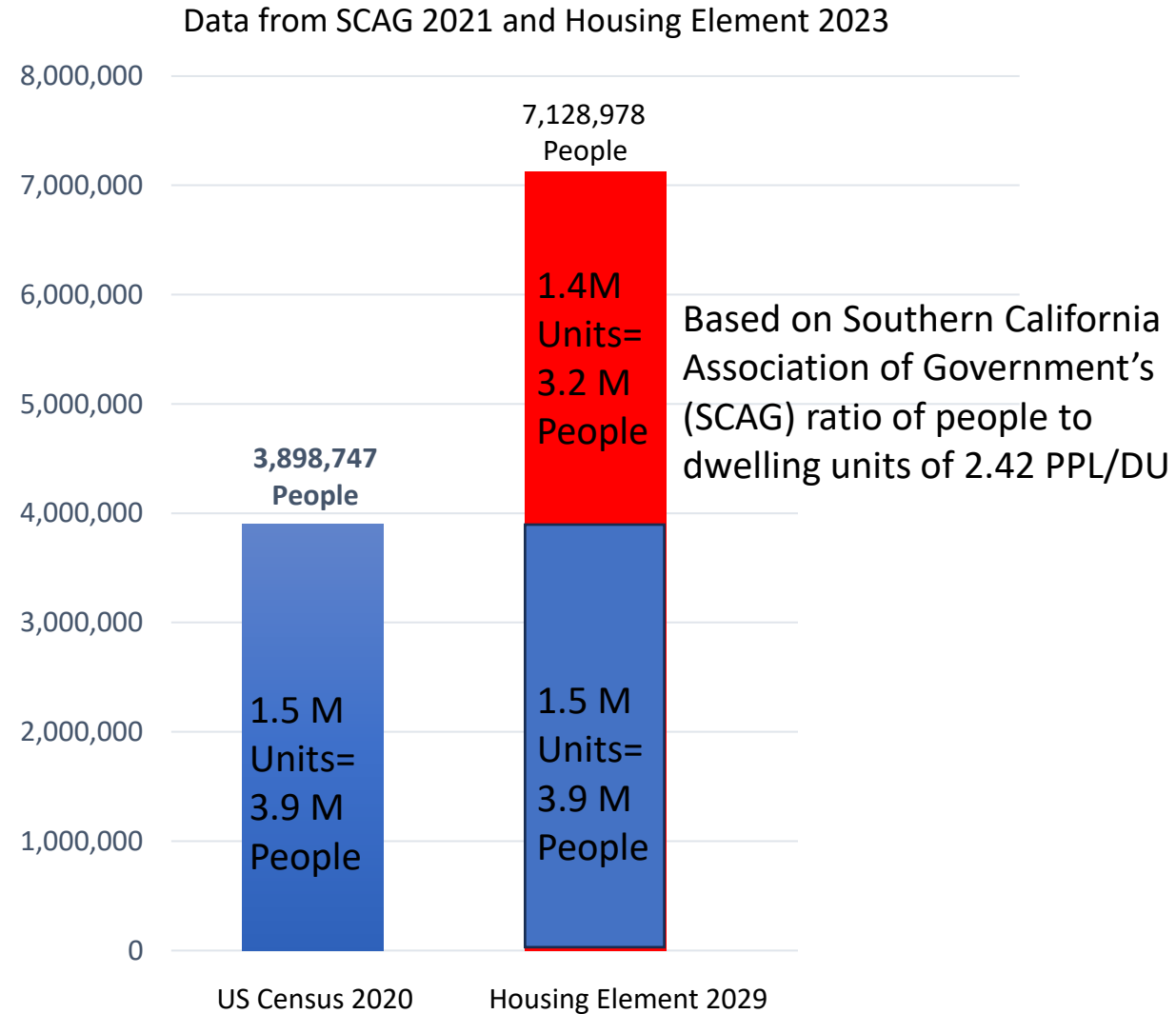
Eliminating overlays that affect residential neighborhoods, still leaves **760,000** units, much more than the 255,000 units required to meet RHNA.

**Dangers to over zoning:** over zoning will result in over building causing unnecessary stress on the city's finances, environment, infrastructure and change the socio-economic make up of communities as they absorb more market-rate units.

New Total= 760,000 units **(3.3X more housing than required)**



# LA Planning Department is zoning for an additional 3.2 Million people in the next 8 years.



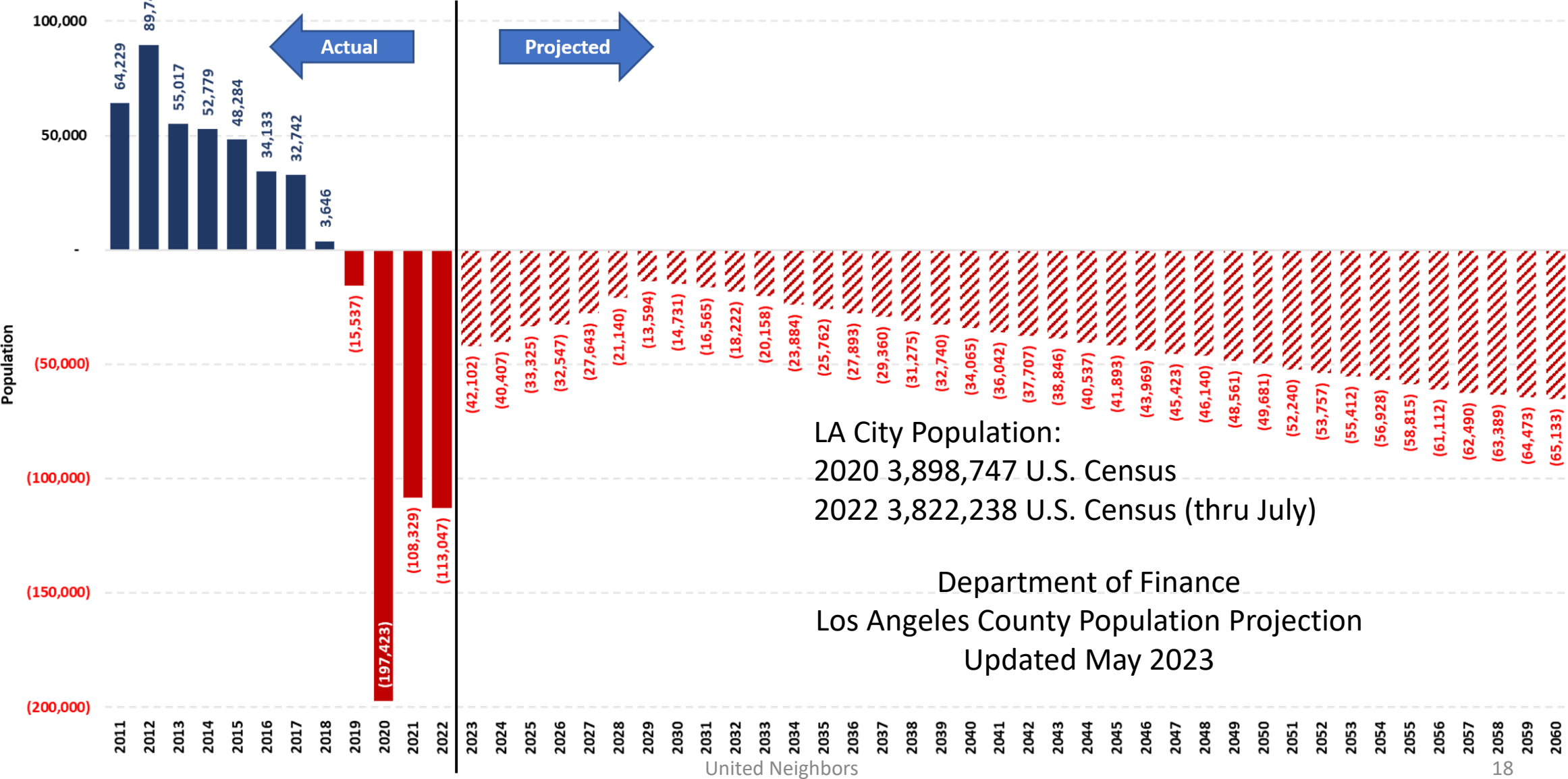


However, the State does not even project that magnitude of growth in LA County.

**Annual Population Change 2010-2060**

DoF 07-19-2023 Projections

(Incl. 2010 to 2019 from 07-19-2021 DoF Projections)

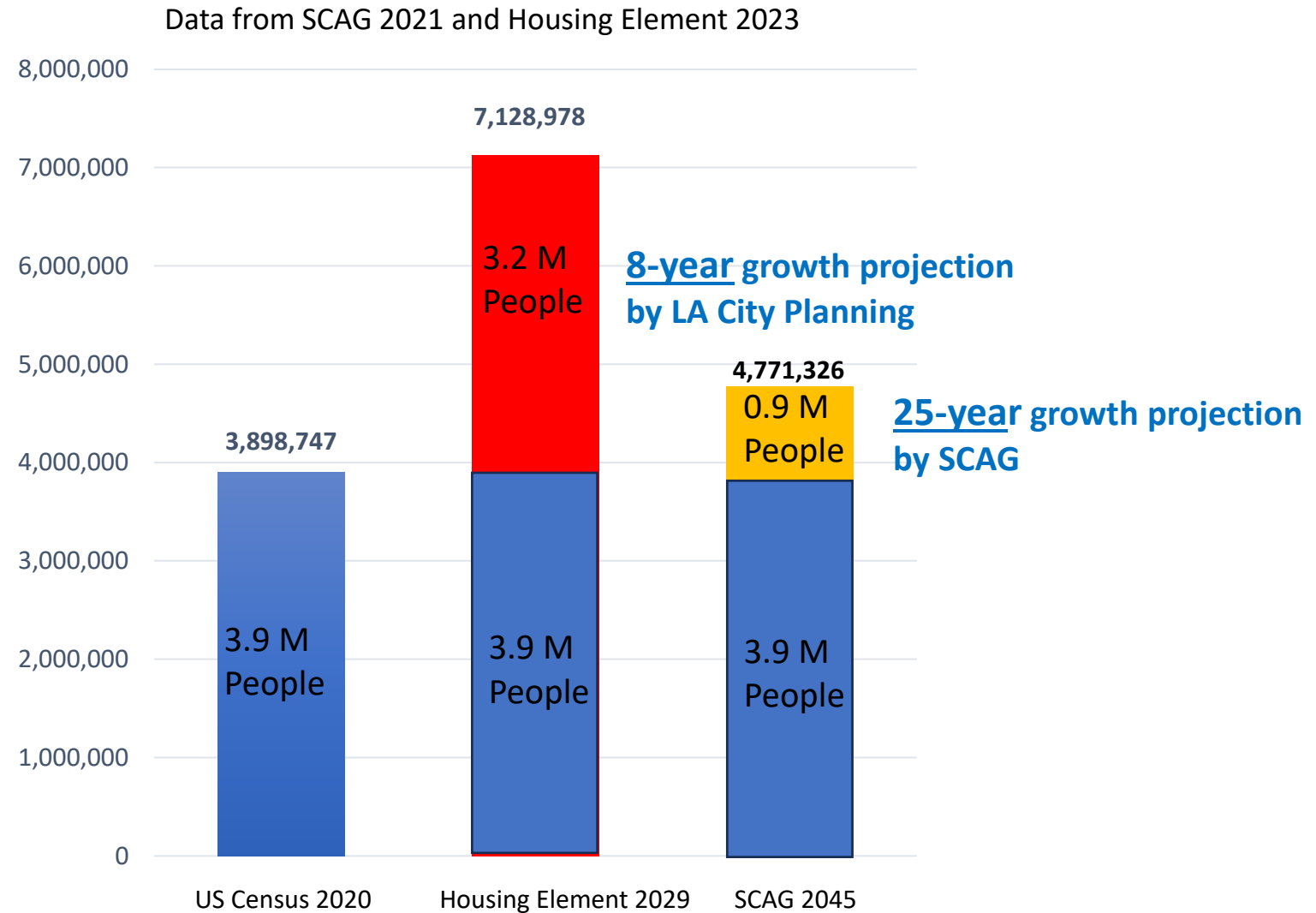


LA City Population:  
 2020 3,898,747 U.S. Census  
 2022 3,822,238 U.S. Census (thru July)

Department of Finance  
 Los Angeles County Population Projection  
 Updated May 2023

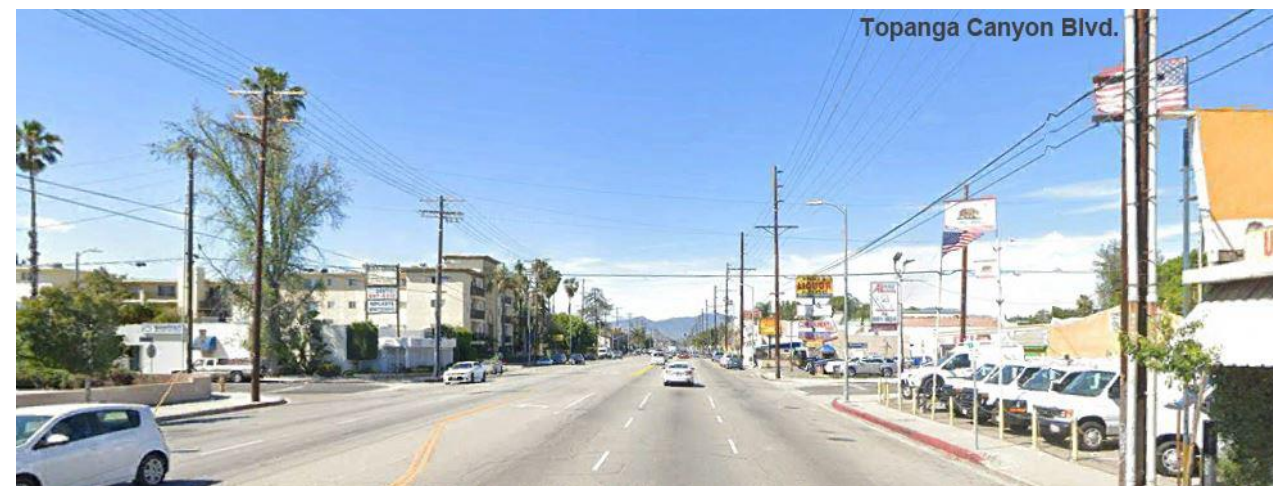


# And neither does SCAG that projects less than 1 Million people in the next 25 years





**The density belongs on commercial corridors where we have the space, infrastructure, transit and the economy of scale to build meaningful amounts of affordable housing**



**The city can demand a greater percentage of affordable housing by incentivized rezoning, fee waivers, priority processing and financial assistance.**



**Why support this approach? Piecemeal development has no accountability for infrastructure costs, creates segregated living patterns, and with no parking criteria this creates barriers to access job opportunities throughout the City.**





## WHY PUT AN APARTMENT HOUSE HERE?



**WHEN THERE IS AN UNDER-UTILIZED SHOPPING CENTER HERE**



# MISSING MIDDLE



**CREATING NEW AFFORDABLE, MIXED-INCOME ROW HOUSES  
THIS IS AN OPPORTUNITY TO BUILD GENERATIONAL WEALTH**



# UNDER-UTILIZED SHOPPING CENTER







**CREATING NEW AFFORDABLE, INTEGRATED NEIGHBORHOODS  
WHILE REVITALIZING THE COMMERCIAL AREAS**



# Corridors Can Do Everything That Needs To Be Done



**Instead of leaving underutilized centers that are not identified in the Housing Element...**



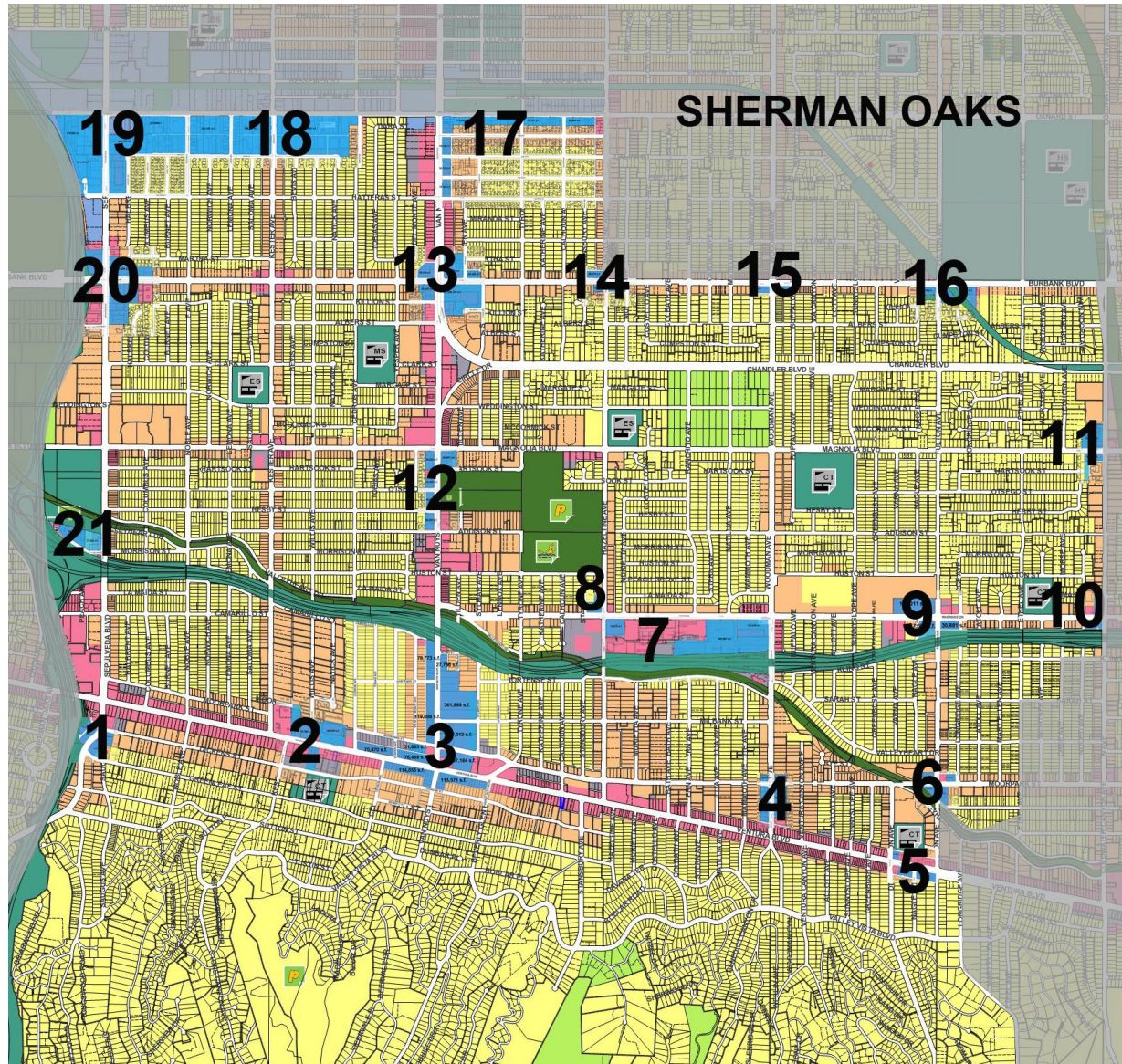
# Corridors Can Do Everything That Needs To Be Done



- **Respects adjacent single-family and multi-family neighborhoods and can add missing middle housing**
- **Builds density where sufficient infrastructure exists**
- **Meets Affirmatively Furthering Fair Housing by integrating significant amounts of mixed income housing throughout communities instead of concentrating development in one area**
- **Locates density where there is transit and makes communities more walkable**
- **Revitalizes commercial corridors making communities economically viable**



# Our Sherman Oaks “community-based housing” study does not rezone single-family or multi-family areas






- All sites are on underutilized commercial corridors
- Located throughout our community Affirmatively Furthering Fair Housing
- Revitalizing Sherman Oaks

**These sites more than exceed the RHNA criteria for Sherman Oaks**

On existing sites that are one-story, underutilized developments with vast areas of surface parking...and not identified for upzoning in the Housing Element and not currently zoned for significant amounts of housing.



# HOUSING ELEMENT - CD4

-  TOC EXP 2.5:1 FAR 13-32 Units/site
-  AHO 1.75:1 FAR, 2.5 Stories, plus Density Bonus
-  DB50

Encino

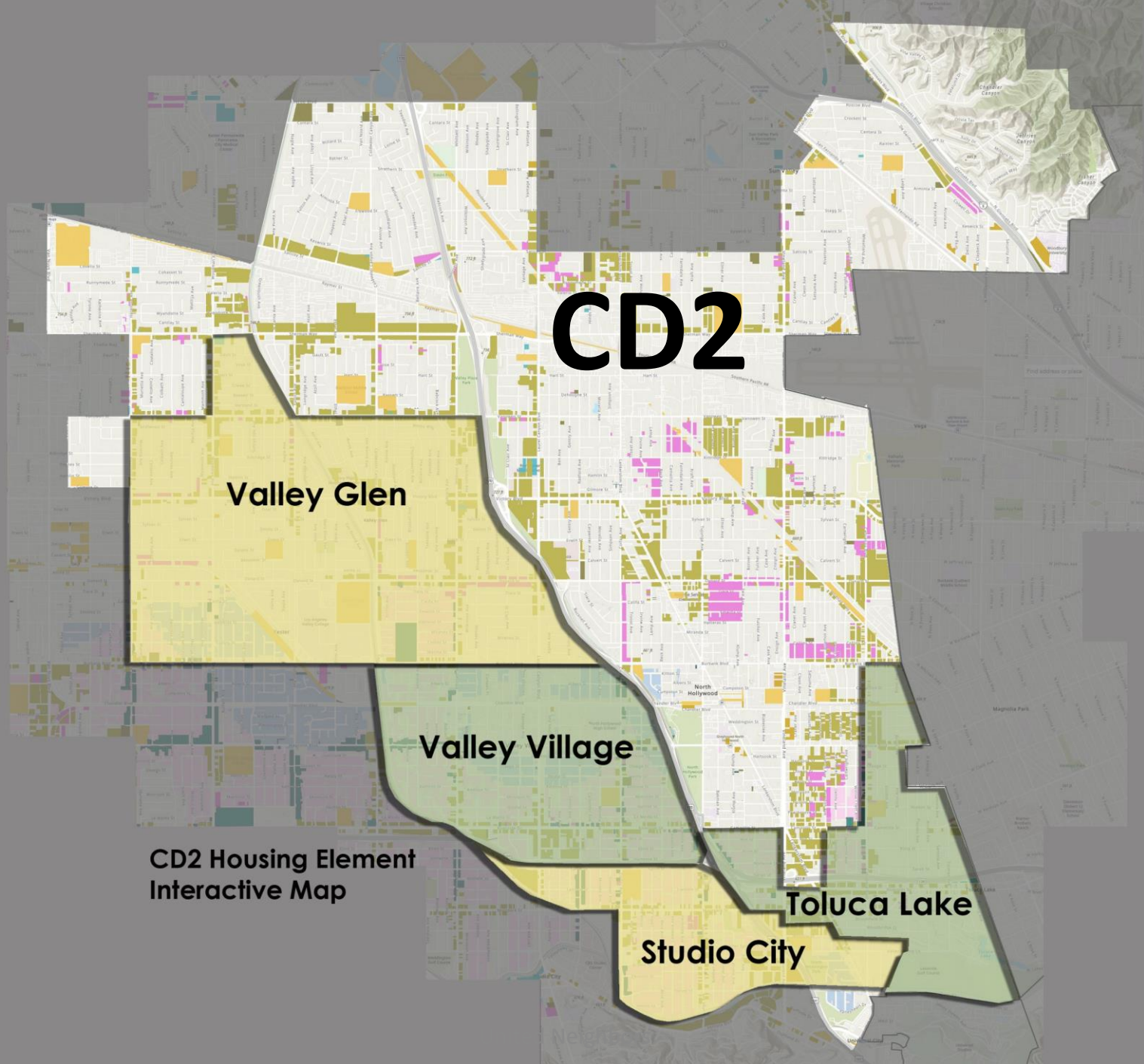
Sherman Oaks

Studio City

Los Feliz

Working with other communities we found similar unidentified commercial sites perfect for more housing and for satisfying AFFH criteria that requires revitalizing communities, no displacement and not creating areas of segregation (economic)





# CD2

Valley Glen

Valley Village

Toluca Lake

Studio City

CD2 Housing Element  
Interactive Map

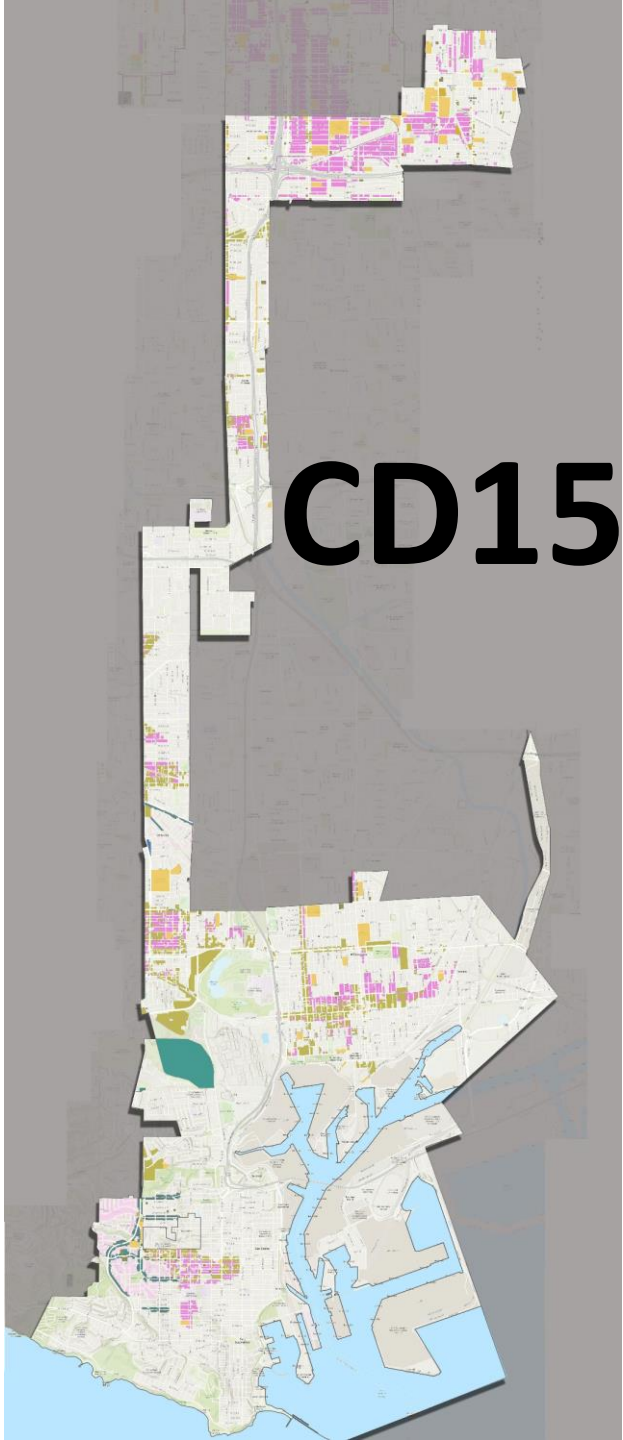










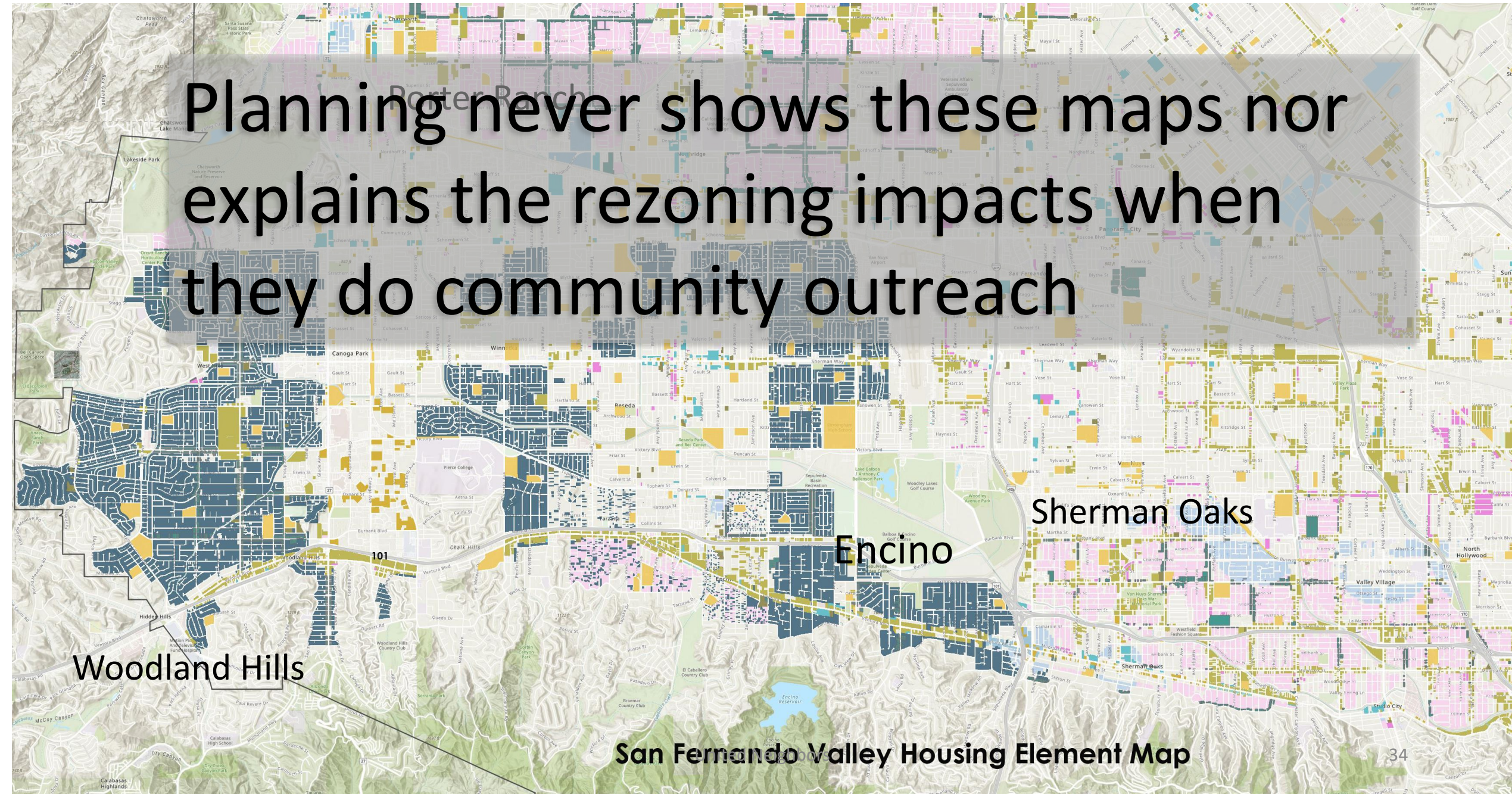


# CD15



# Lack of transparency and outreach

Planning never shows these maps nor explains the rezoning impacts when they do community outreach



San Fernando Valley Housing Element Map



# Planning Departments Outreach Survey is full of ambiguous questions

Within higher opportunity areas should new housing to be located:

- Focused in walkable neighborhoods near major streets and centers or
- Spread more evenly?

Do you support allowing more apartments and condominiums options in locations close to jobs, amenities and transit?

- Yes
- No
- Unsure

Clear selection



# Lack of transparency and outreach



Our City Council and Planning Department are misquoting a State Law saying apartments have to go into single-family neighborhoods.



## California Government Code Section 65583.2(h)

The program required by subparagraph (A) of paragraph (1) of subdivision (c) of Section 65583 shall accommodate 100 percent of the need for housing for very low and low-income households allocated pursuant to Section 65584 for which site capacity has not been identified in the inventory of sites pursuant to paragraph (3) of subdivision (a) on sites that shall be zoned to permit owner-occupied and rental multifamily residential use by right for developments in which at least 20 percent of the units are affordable to lower income households during the planning period. These sites shall be zoned with minimum density and development standards that permit at least 16 units per site at a density of at least 16 units per acre in jurisdictions described in clause (i) of subparagraph (B) of paragraph (3) of subdivision (c), shall be at least 20 units per acre in jurisdictions described in clauses (iii) and (iv) of subparagraph (B) of paragraph (3) of subdivision (c) and shall meet the standards set forth in subparagraph (B) of paragraph (5) of subdivision (b). At least 50 percent of the very low and low-income housing need shall be accommodated on sites designated for residential use and for which nonresidential uses or mixed uses are not permitted, except that a city or county may accommodate all of the very low and low-income housing need on sites designated for mixed use if those sites allow 100 percent residential use and require that residential use occupy 50 percent of the total floor area of a mixed-use project

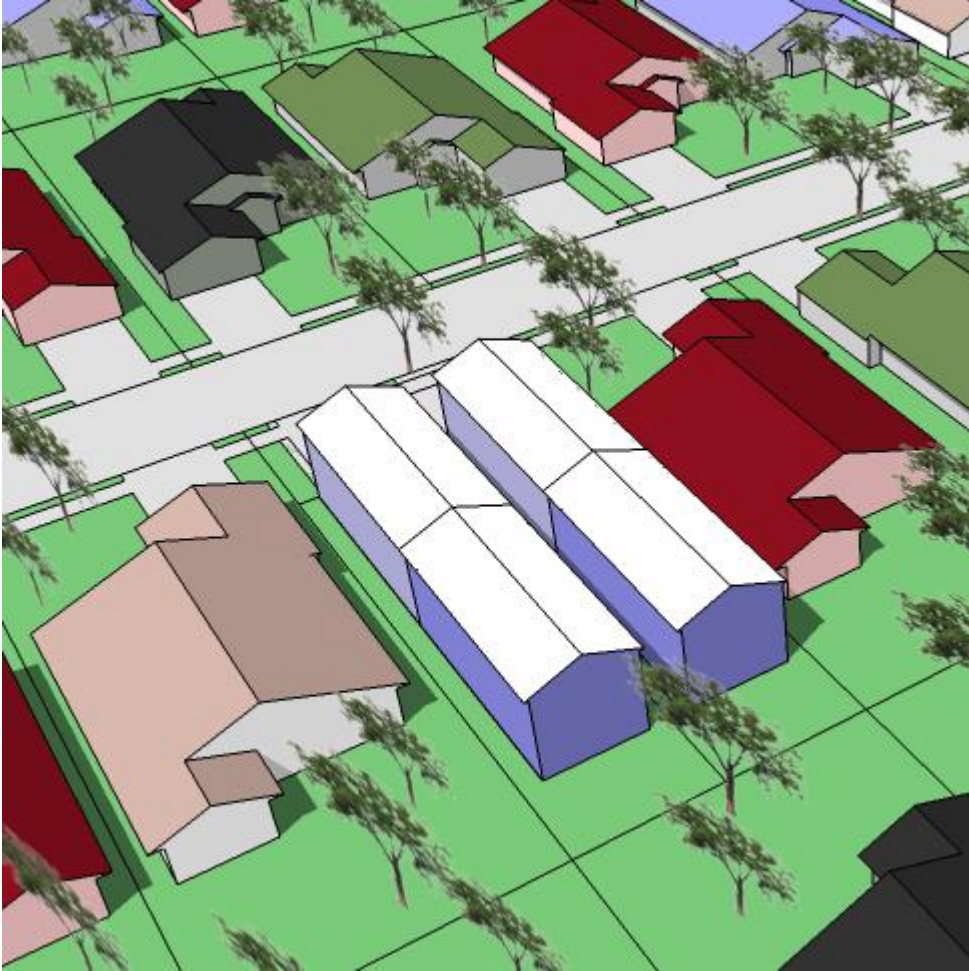


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# Single-family zones already allow 4 units



Senate Bill 9 (SB9) already allows for 4 units per lot. It also allows for a lot split with 2 units per lot.

**Do *not* let the Council Office or the Planning Department talk you into accepting 5 units per lot.**

That opens single-family zones to State laws that will define your property as multi-family zones, opening you up to even more density.



Mayor Bass said “ I would not and I do not believe you force things on people. But you do involve people and let them come up with their own solutions. The attitude has to be “we all have skin in the game” and given that how do you deal with it in your neighborhood.”

**We simply ask our mayor: Remove R1 from the rezoning strategy.**



# Developing apartments in single-family areas creates problems

- **Puts density where there is insufficient infrastructure**
- **Does not meet Affirmatively Furthering Fair Housing because it concentrates apartment housing in designated areas**
- **Locates density where there is no transit and insufficient parking**
- **Removes trees, open space and permeable surfaces**





# Developing apartments in commercial areas solves problems

- Builds density where sufficient infrastructure exists
- Meets Affirmatively Furthering Fair Housing by integrating significant amounts of mixed income housing throughout communities
- Locates density where there is transit and makes communities more walkable
- Revitalizes commercial corridors making communities economically viable
- Makes our communities more attractive and more livable





# What do we do?





# Next Steps

## **Step 1: Submit to Council File 21-1230. All of us in LA must do this.**

Neighborhood Councils can use our motion attached to submit a CIS to the council file. Currently only pro housing people have submitted to this file. We need to change that. This motion enclosed is a word document which allows you to enter your nc's name, but you are obviously encouraged to submit your own motion. We are offering you an example.

- **For HOA or neighborhood groups**, please submit a comment as well to this file. It can be this motion or anything else that will explain your anger at the city considering rezoning single-family neighborhoods and sensitive multi family neighborhoods when there is ample zoning capacity on our commercial corridors to meet the RHNA requirement. Submitting to the file is easy. We've attached step by step instructions. Again, time is of importance.
- **Individuals (all of us)** can also submit to the file. We want hundreds of submissions. Spread the word.

**Step 2: Email blast- call to action.** We sent out an easy email blast that will have a "click and submit" capability so we can send a message to your council members and the mayor. We need you to blast this email out to all the people on your email list so we can get a lot of comments sent so the city starts paying attention to us.



*Whereas the Housing Element and Community Plan Updates have sufficient zoning opportunities in commercial corridors, on public lands and through Adaptive Reuse to meet State housing needs mandates, there is no need to divide and destroy existing residential neighborhoods by rezoning through overlays or other zoning devices of R1 zones or sensitive, rent stabilized multi-family housing. The \_\_\_\_\_ Neighborhood Council opposes the Housing Element's proposed rezoning and densification of R1 and multi-family neighborhoods beyond what SB9 and ADU law allows.*

To be submitted to Council File 21-1230





los angeles council file 21-1230

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LA City Clerk (.gov)  
<https://cityclerk.lacity.org>, [lacityclerkconnect](#), [cfnu...](#)

**21-1230 (CFMS) - LA City Clerk**  
 Council rereferred item to Housing and Homelessness Committee, pursuant to Council Action of January 13, 2023, **Council File** No. 23-2000. 12/06/2022, Planning ...

LA City Clerk (.gov)  
<https://cityclerk.lacity.org>, [lacityclerkconnect](#), [cfnu...](#)

**21-1230-S1 (CFMS) - LA City Clerk - City of Los Angeles**  
 Jun 16, 2022 — **Council File: 21-1230-S1** Subscribe via email Print this record · Public Comment ; 05/27/2022, **Los Angeles City Planning Commission document(s)** ...

LA City Clerk (.gov)  
<https://cityclerk.lacity.org>, [lacityclerkconnect](#)

**Untitled**  
 Office of the City Clerk, City of **Los Angeles**. This report was generated by the ... Action History for **Council File 21-1230**. Date. Activity. 06/16/2023 Council ...

LA City Clerk (.gov)  
<https://cityclerk.lacity.org>, [lacityclerkconnect](#)

**Untitled**  
 Sep 11, 2023 — Office of the City Clerk, City of **Los Angeles**. This report was ... Action History for **Council File 21-1230-S2**. Date. Activity. 06/28/2023 ...

City of Los Angeles (.gov)  
<https://cityclerk.lacity.org>, [m.clerkconnect](#)

**LA CITY CLERK CONNECT - City of Los Angeles**  
 Council File Management System Search Council File Management System Contracts Search



Then click on this link



Step 2: When this page opens you hit "NEW"

# LACityClerk Connect

## Council File Management System

### Council File: 21-1230



#### Title

Housing Element / General Plan / 2021-2029

#### Date Received / Introduced

10/21/2021

#### Last Changed Date

06/16/2023

#### Expiration Date

06/14/2025

#### Reference Numbers

Related Council Files: 21-1235; 21-1236

Case: CPC-2020-1365-GPA

Environmental: ENV-2020-6762-EIR

#### Mover

MARQUEECE HARRIS-DAWSON

#### Second

MIKE BONIN

#### Initiated by

Department of City Planning

#### File Activities

Date	Activity
06/16/2023	Council action final.
06/14/2023	Council adopted item, subject to reconsideration, pursuant to Council Rule 51.
06/09/2023	City Clerk scheduled item for Council on June 14, 2023.
06/06/2023	Planning and Land Use Management Committee noted and filed item(s).
06/02/2023	Planning and Land Use Management Committee scheduled item for committee meeting on June 6, 2023.
05/31/2023	Department of City Planning document(s) referred to Planning and Land Use Management Committee.

#### Online Documents (Doc)

Title	Doc Date
Council Action	06/16/2023
Speaker Card(s)	06/14/2023
Report from Planning and Land Use Management Committee	06/08/2023
Speaker Card(s)	06/06/2023

#### Council Vote Information (4 Votes)

Meeting Date:	06/14/2023	
Meeting Type:	Regular	
Vote Action:		
Vote Given:	(10 - 0 - 5)	
Member Name	CD	Vote
(VACANT) (VACANT)	6	ABSENT
BOB BLUMENFIELD	3	YES
KEVIN DELEON	14	ABSENT
MARQUEECE HARRIS-DAWSON	8	YES
EUNISSES HERNANDEZ	1	YES
HEATHER HUTT	10	YES
PAUL KREKORIAN	2	YES
JOHN LEE	12	ABSENT
TIM MCOSKER	15	YES
TRACI PARK	11	YES
CURREN D. PRICE	9	ABSENT
NITHYA RAMAN	4	YES
MONICA RODRIGUEZ	7	ABSENT
HUGO SOTO-MARTINEZ	13	YES
KATY YAROSI AVSKY	5	YES



Step 3: Write your comment then scroll down hit "I am not a robot" and submit



# Office of the City Clerk Public Comment Form

For items considered by Council



## DISCLAIMER

THIS IS A PUBLIC DOCUMENT THAT WILL BE POSTED ON THE CITY CLERK'S COUNCIL FILE MANAGEMENT SYSTEM

Name (will appear as part of the public record):

Name Optional

E-mail Address (for verification purposes only):

E-mail Required

Council File Number (enter numbers only):

21-1230

Including a correct Council file number will help ensure expedient and accurate posting of your comment. You can search for Council file numbers on the City Clerk's COUNCIL FILE MANAGEMENT SYSTEM

Comments for Public Posting:

Comments for Public Posting are REQUIRED

5000 characters remaining



Council File Number (enter numbers only):

21-1230

Including a correct Council file number will help ensure expedient and accurate posting of your comment. You can search for Council file numbers on the City Clerk's [COUNCIL FILE MANAGEMENT SYSTEM](#).

Comments for Public Posting:

Whereas the Housing Element and Community Plan Updates have sufficient zoning opportunities in commercial corridors, on public land and through Adaptive Reuse to meet State housing needs mandates, there is no need to divide and destroy existing residential neighborhoods by rezoning through overlays or other zoning devices of R1 zones or to allow, rent stabilized multi-family housing. My family and I oppose the Housing Element's proposed rezoning and densification of R1 and multi-family neighborhoods beyond what SB9 and ADU law allows.

4456 characters remaining

All pertinent documents that you wish to attach to your request should be in PDF format.


File Attachment:

Choose File

Note: A password protected PDF file will not be processed. (5MB maximum file size)

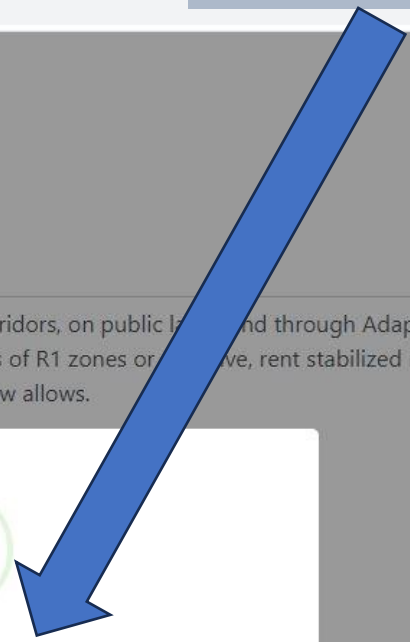
I'm not a robot reCAPTCHA Privacy - Terms

Submit

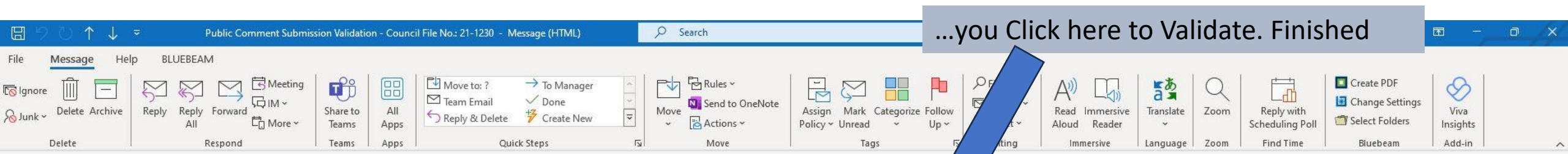


### Public Comment Pending

A verification link has been sent to your email account. Please click on the link to verify your email for the public comment to be processed







...you Click here to Validate. Finished

Public Comment Submission Validation - Council File No.: 21-1230

Clerk.PublicComment@lacity.org  
To Jeffrey Kalban

Reply Reply All Forward

Fri 10/6/2023 8:33 AM

To [Redacted]

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### Public Comment Submission Validation

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**Council File Number:** 21-1230

#### Comments for Public Posting:

Whereas the Housing Element and Community Plan Updates have sufficient zoning opportunities in commercial corridors, on public lands and through Adaptive Reuse to meet State housing needs mandates, there is no need to divide and destroy existing residential neighborhoods by rezoning through overlays or other zoning devices of R1 zones or sensitive, rent stabilized multi-family housing. My family and I oppose the Housing Element's proposed rezoning and densification of R1 and multi-family neighborhoods beyond what SB9 and ADU law allows.

If the above button is not clickable or is broken, please copy and paste the entire URL (minus any spaces) into your browser window.

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Thank you,  
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Council & Public Services Division  
City of Los Angeles  
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# Send a letter to Mayor Bass and your Councilmember



**Don't Let This Happen In Your Neighborhood**  
The City of Los Angeles is out to end single-family neighborhoods

While there is no doubt that Los Angeles needs more affordable housing, there is also no doubt that the LA City Planning Department is currently proposing the rezoning of our single-family and sensitive multi-family neighborhoods to allow 4-5 story apartments. This is not acceptable! Many of these neighborhoods are home to people who have struggled and saved to create a place for their families. With zero guardrails, Planning is handing these residential communities over to developers.

Instead of destroying residential neighborhoods, we've worked with neighborhoods across Los Angeles and created community maps that locate enough housing to meet the state's housing mandate. These community-based maps rezone underutilized commercial corridors, public lands, and create places for mixed income housing that would revitalize ALL our communities and make them more walkable, sustainable, and livable. While being mindful of Affirmatively Furthering Fair Housing, we can meet the need of our city without ruining our existing neighborhoods.

*Our mayor has said, "I would not and I do not believe you force things on people. But you do involve people and let them come up with their own solutions. The attitude has to be 'we all have skin in the game' and given that how do you deal with it in your neighborhood."*

We, United Neighbors, are doing our part to find solutions but is the City willing to let us have skin in the game?

**We don't need to destroy our housing to build new housing.**

Now we need YOUR HELP!

Tell your elected representative to stop needless rezoning of your neighborhoods!

**Email the Mayor**

- CD1 - [Eunisses Hernandez](#)
- CD2 - [Paul Krekorian](#)
- CD3 - [Bob Blumenfield](#)
- CD4 - [Nithya Raman](#)
- CD5 - [Katy Yaroslavsky](#)
- CD6 - [Imelda Padilla](#)
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- CD9 - [Curren Price Jr](#)
- CD10 - [Heather Hutt](#)
- CD11 - [Traci Park](#)
- CD12 - [John Lee](#)
- CD13 - [Hugo Soto-Martinez](#)
- CD 14 - [Kevin De Leon](#)
- CD15 - [Tim McOsker](#)

For a copy of this call to action, contact Linda or Maria at:

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[mpkalban@gmail.com](mailto:mpkalban@gmail.com)



**Time is running out!**

**We must have the Planning Department's rezoning maps changed by the end of Fall.**



Let's stand together as



we say “yes” to more housing but  
“no” to bad planning of our  
neighborhoods!