



**APPLICATIONS:**

**DEPARTMENT OF CITY PLANNING APPLICATION**

*THIS BOX FOR CITY PLANNING STAFF USE ONLY*

**Case Number** \_\_\_\_\_

**Env. Case Number** \_\_\_\_\_

Application Type \_\_\_\_\_

Case Filed With (Print Name) \_\_\_\_\_ Date Filed \_\_\_\_\_

Application includes letter requesting:

Waived hearing       Concurrent hearing       Hearing not be scheduled on a specific date (e.g. vacation hold)

Related Case Number \_\_\_\_\_

**Provide all information requested. Missing, incomplete or inconsistent information will cause delays.**

*All terms in this document are applicable to the singular as well as the plural forms of such terms.*

*Detailed filing instructions are found on form CP-7810*

**1. PROJECT LOCATION**

Street Address<sup>1</sup> \_\_\_\_\_ Unit/Space Number \_\_\_\_\_

Legal Description<sup>2</sup> (Lot, Block, Tract) \_\_\_\_\_

Assessor Parcel Number \_\_\_\_\_ Total Lot Area \_\_\_\_\_

**2. PROJECT DESCRIPTION**

Present Use \_\_\_\_\_

Proposed Use \_\_\_\_\_

Project Name (if applicable) \_\_\_\_\_

Describe in detail the characteristics, scope and/or operation of the proposed project \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Additional information attached       YES       NO

Complete and check all that apply:

**Existing Site Conditions**

- |   |  |
|---|--|
| <input type="checkbox"/> Site is undeveloped or unimproved (i.e. vacant)  | <input type="checkbox"/> Site is located within 500 feet of a freeway or railroad                  |
| <input type="checkbox"/> Site has existing buildings (provide copies of building permits)   | <input type="checkbox"/> Site is located within 500 feet of a sensitive use (e.g. school, park)    |
| <input type="checkbox"/> Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial) | <input type="checkbox"/> Site has special designation (e.g. National Historic Register, Survey LA) |

<sup>1</sup> Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)

<sup>2</sup> Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

**Proposed Project Information**

(Check all that apply or could apply)

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree

- Removal of protected trees on site or in the public right of way
- New construction: \_\_\_\_\_square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

**Housing Component Information**

Number of Residential Units: Existing \_\_\_\_\_ - Demolish(ed)<sup>3</sup> \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_

Number of Affordable Units<sup>4</sup> Existing \_\_\_\_\_ - Demolish(ed) \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_

Number of Market Rate Units Existing \_\_\_\_\_ - Demolish(ed) \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_

Mixed Use Projects, Amount of Non-Residential Floor Area: \_\_\_\_\_square feet

**Public Right-of-Way Information**

Have you submitted the Planning Case Referral Form to BOE? (required)  YES  NO

Is your project required to dedicate land to the public right-of-way?  YES  NO

If so, what is/are your dedication requirement(s)? \_\_\_\_\_ ft.

If you have dedication requirements on multiple streets, please indicate: \_\_\_\_\_

**3. ACTION(S) REQUESTED**

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36?  YES  NO

**Authorizing Code Section** \_\_\_\_\_

**Code Section from which relief is requested (if any):** \_\_\_\_\_

**Action Requested, Narrative:** \_\_\_\_\_

**Authorizing Code Section** \_\_\_\_\_

**Code Section from which relief is requested (if any):** \_\_\_\_\_

**Action Requested, Narrative:** \_\_\_\_\_

Additional Requests Attached  YES  NO

<sup>3</sup> Number of units to be demolished and/or which have been demolished within the last five (5) years.

<sup>4</sup> As determined by the Housing and Community Investment Department

**4. RELATED DEPARTMENT OF CITY PLANNING CASES**

Are there previous or pending cases/decisions/environmental clearances on the project site?  YES  NO

If YES, list all case number(s) \_\_\_\_\_

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. \_\_\_\_\_

Ordinance No.: \_\_\_\_\_

Condition compliance review

Clarification of Q (Qualified) classification

Modification of conditions

Clarification of D (Development Limitations) classification

Revision of approved plans

Amendment to T (Tentative) classification

Renewal of entitlement

Plan Approval subsequent to Master Conditional Use

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project?  YES  NO

Have you filed, or is there intent to file, a Subdivision with this project?  YES  NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

**5. RELATED DOCUMENTS / REFERRALS**

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

a. Specialized Requirement Form \_\_\_\_\_

b. Geographic Project Planning Referral \_\_\_\_\_

c. Citywide Design Guidelines Compliance Review Form \_\_\_\_\_

d. Affordable Housing Referral Form \_\_\_\_\_

e. Mello Form \_\_\_\_\_

f. Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form \_\_\_\_\_

g. HPOZ Authorization Form \_\_\_\_\_

h. Management Team Authorization \_\_\_\_\_

i. Expedite Fee Agreement \_\_\_\_\_

j. Department of Transportation (DOT) Referral Form \_\_\_\_\_

k. Preliminary Zoning Assessment Referral Form \_\_\_\_\_

l. SB330 Preliminary Application \_\_\_\_\_

m. Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) \_\_\_\_\_

n. Order to Comply \_\_\_\_\_

o. Building Permits and Certificates of Occupancy \_\_\_\_\_

p. Hillside Referral Form (BOE) \_\_\_\_\_

q. Low Impact Development (LID) Referral Form (Storm water Mitigation) \_\_\_\_\_

r. SB330 Determination Letter from Housing and Community Investment Department \_\_\_\_\_

s. Are there any recorded Covenants, affidavits or easements on this property?  YES (provide copy)  NO

**PROJECT TEAM INFORMATION** (Complete all applicable fields)

**Applicant<sup>5</sup> name** \_\_\_\_\_

Company/Firm \_\_\_\_\_

Address: \_\_\_\_\_ Unit/Space Number \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone \_\_\_\_\_ E-mail: \_\_\_\_\_

Are you in escrow to purchase the subject property?  YES  NO

**Property Owner of Record**  Same as applicant  Different from applicant

Name (if different from applicant) \_\_\_\_\_

Address \_\_\_\_\_ Unit/Space Number \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone \_\_\_\_\_ E-mail: \_\_\_\_\_

**Agent/Representative name** \_\_\_\_\_

Company/Firm \_\_\_\_\_

Address: \_\_\_\_\_ Unit/Space Number \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone \_\_\_\_\_ E-mail: \_\_\_\_\_

**Other** (Specify Architect, Engineer, CEQA Consultant etc.) \_\_\_\_\_

Name \_\_\_\_\_

Company/Firm \_\_\_\_\_

Address: \_\_\_\_\_ Unit/Space Number \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone \_\_\_\_\_ E-mail: \_\_\_\_\_

**Primary Contact for Project Information**  Owner  Applicant  
(*select only one*)  Agent/Representative  Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

<sup>5</sup> An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

**PROPERTY OWNER**

7. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service of process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.  
The City requires an original signature from the property owner with the "wet" notary stamp.  
A Notary Acknowledgement is available for your convenience on following page.*

Signature 

Date 10/19/2021

Print Name CHRIS GEORGE

Signature \_\_\_\_\_

Date \_\_\_\_\_

Print Name \_\_\_\_\_

Space Below For Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of

Los Angeles

On October 22, 2021 before me,

Maria Valle, Notary public  
(Insert Name of Notary Public and Title)

personally appeared

Chris George

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

UVS

Signature

(Seal)





**APPLICANT**

8. **APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
  - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
  - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
  - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
  - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
  - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
  - g. I understand that if this application is denied, there is no refund of fees paid.
  - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but is not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
  - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

*The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.*

Signature: \_\_\_\_\_

Date: 10/19/2021

Print Name: SAM HABESYAN

**OPTIONAL  
NEIGHBORHOOD CONTACT SHEET**

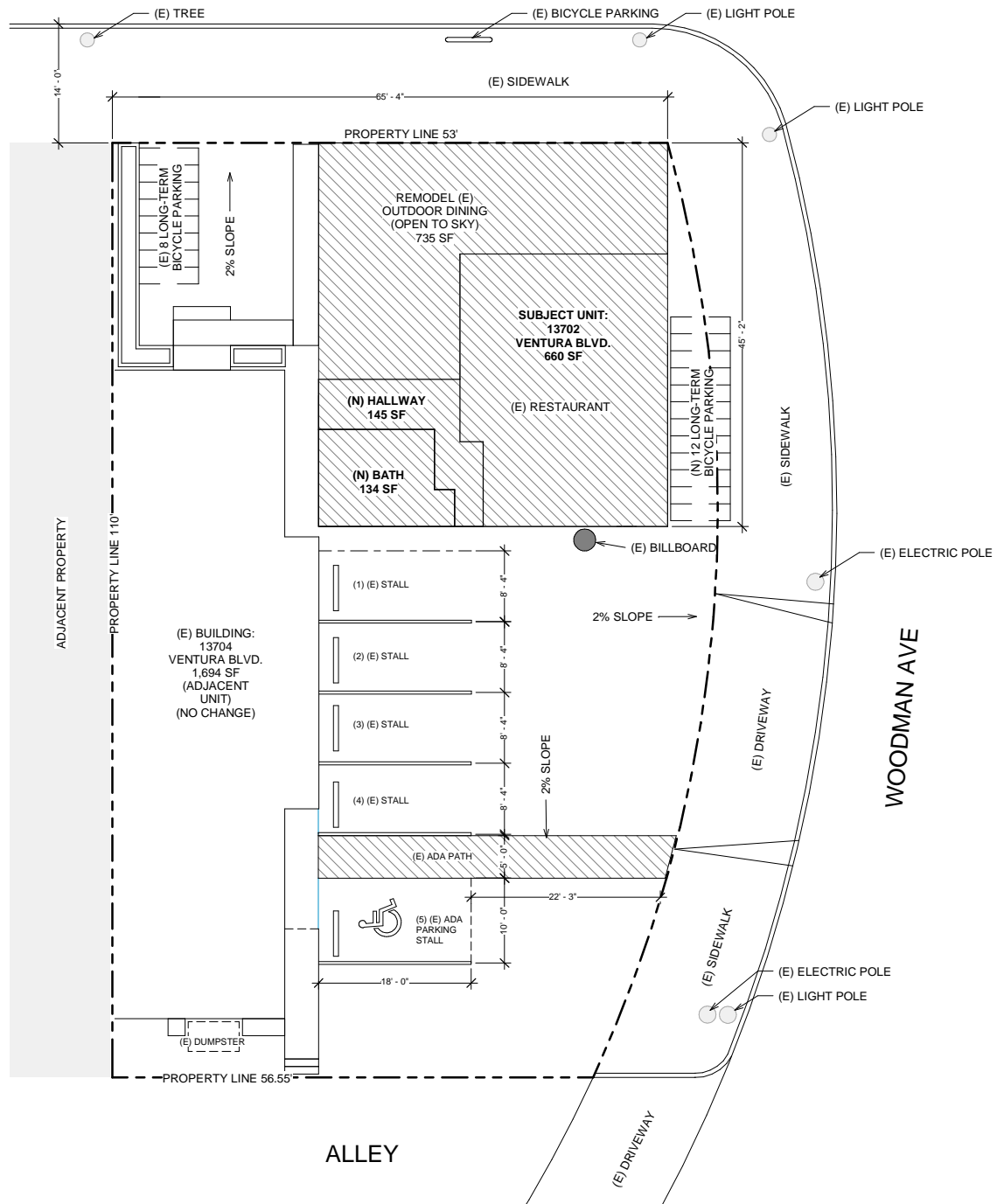
**9. SIGNATURES** of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

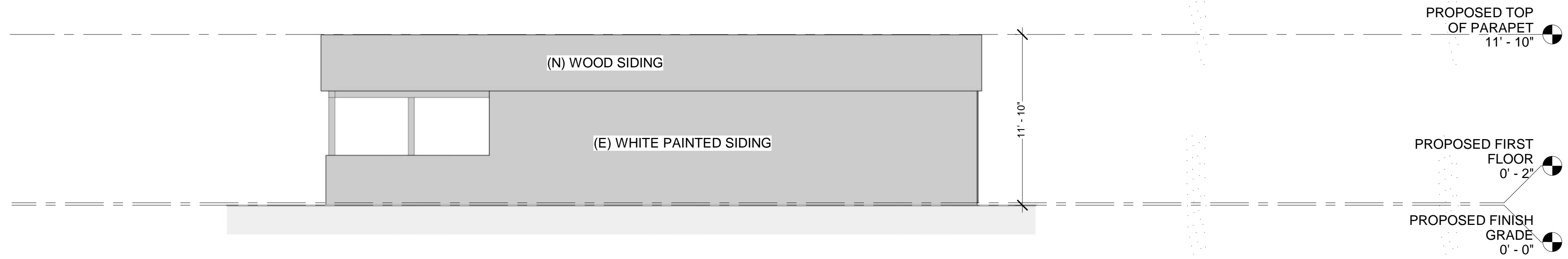
NAME (PRINT)	SIGNATURE	ADDRESS	KEY # ON MAP

**REVIEW** of the project by the applicable Neighborhood Council is not required, but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).

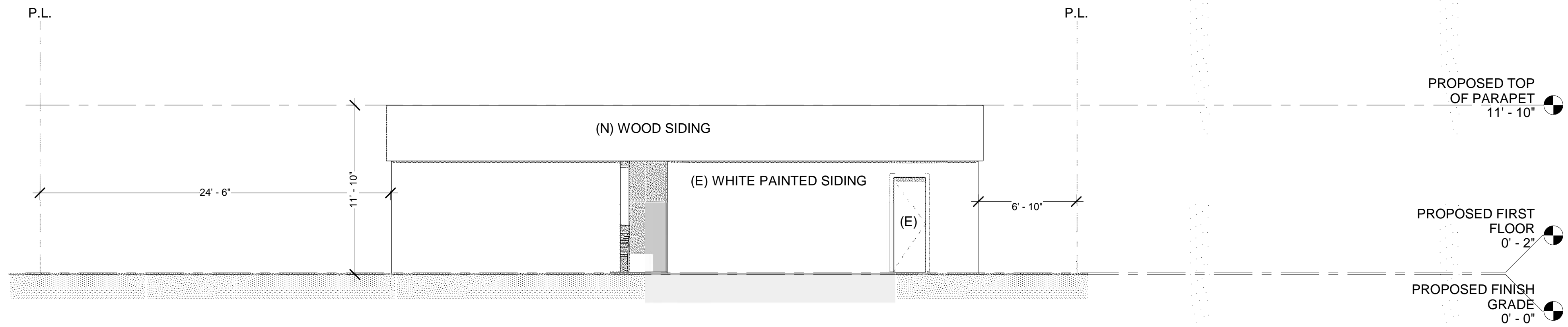


# VENTURA BLVD

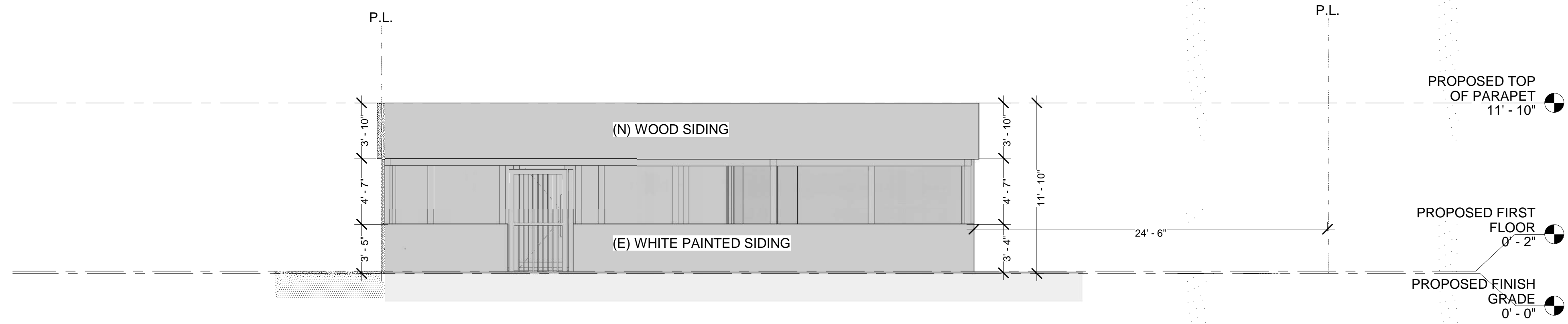




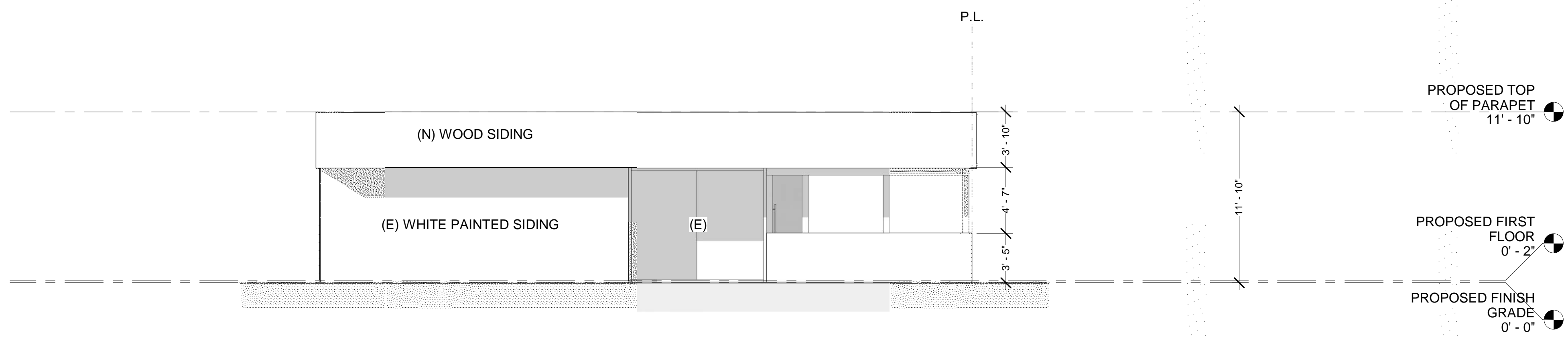
④ SHADOW STUDY WEST ELEVATION  
3/16" = 1'-0"



① SHADOW STUDY SOUTH ELEVATION  
3/16" = 1'-0"



② SHADOW STUDY NORTH ELEVATION  
3/16" = 1'-0"



③ SHADOW STUDY EAST ELEVATION  
3/16" = 1'-0"

ELEVATIONS REPRESENT  
SHADOW IMPACTS ON  
DECEMBER 22, AT 11:30AM

REVISE DATES:

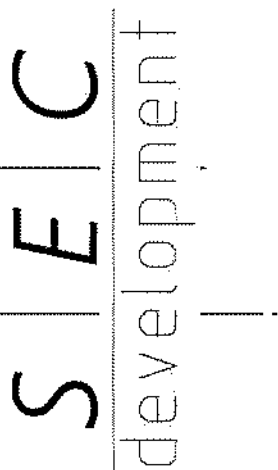
CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.  
AS INSTRUMENT OF SERVICE, ALL DESIGN IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF SEC DEVELOPMENT. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF SEC DEVELOPMENT. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

OWNER:  
SAM HABESYAN  
ADDRESS:  
13702 VENTURA BLVD.,  
SHERMAN OAKS, CA 91423

SHADOW  
STUDY

SECDEVELOPMENT.NET

(818) 935-1171



SECDEVELOPMENT.NET

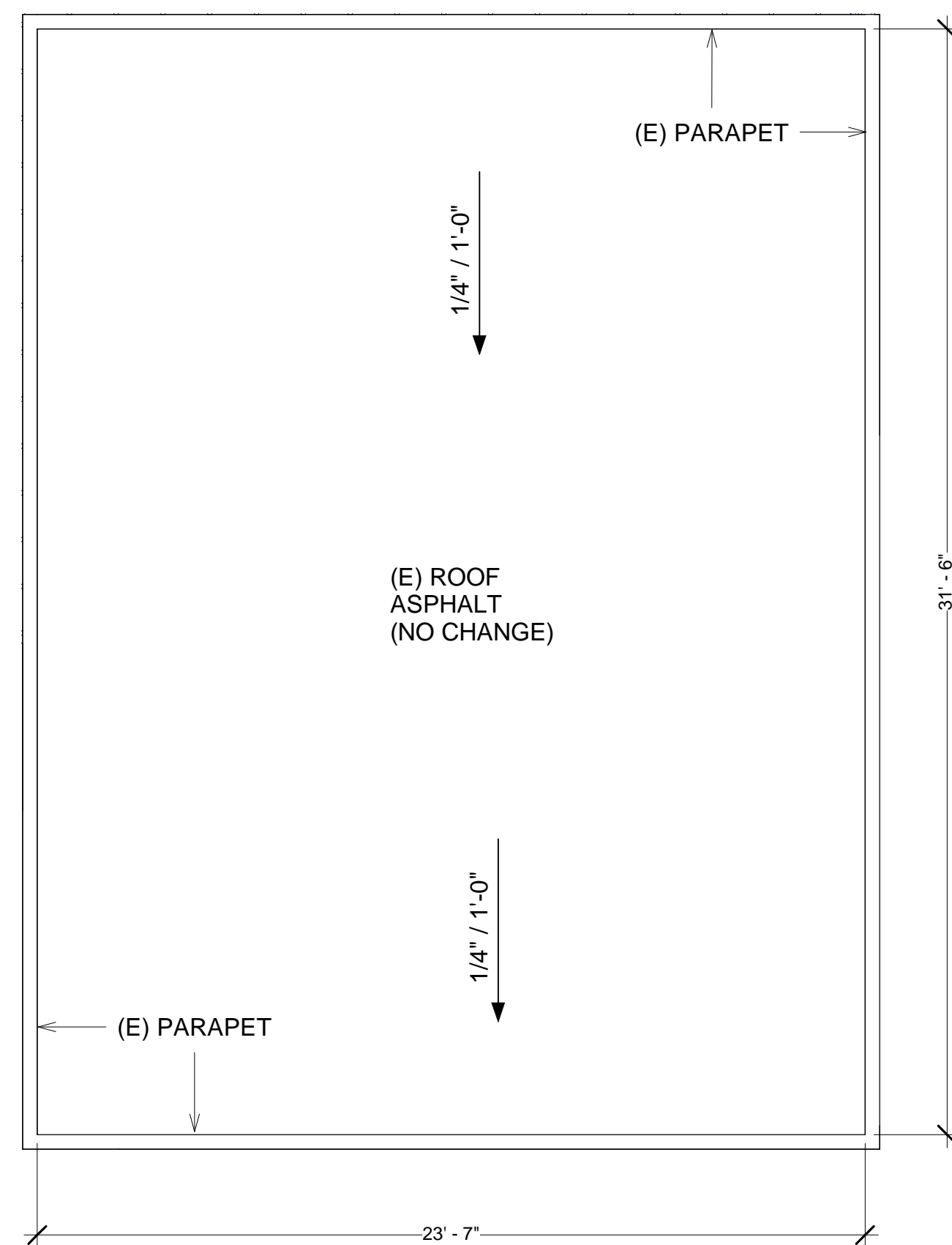
(818) 935-1171

PROJECT INFO	
JOB NUMBER:	21041
DATE DRAWN:	11/8/21
DRAWN BY:	S.K.
CHECKED BY:	V.K.
SCALE:	3/16" = 1'

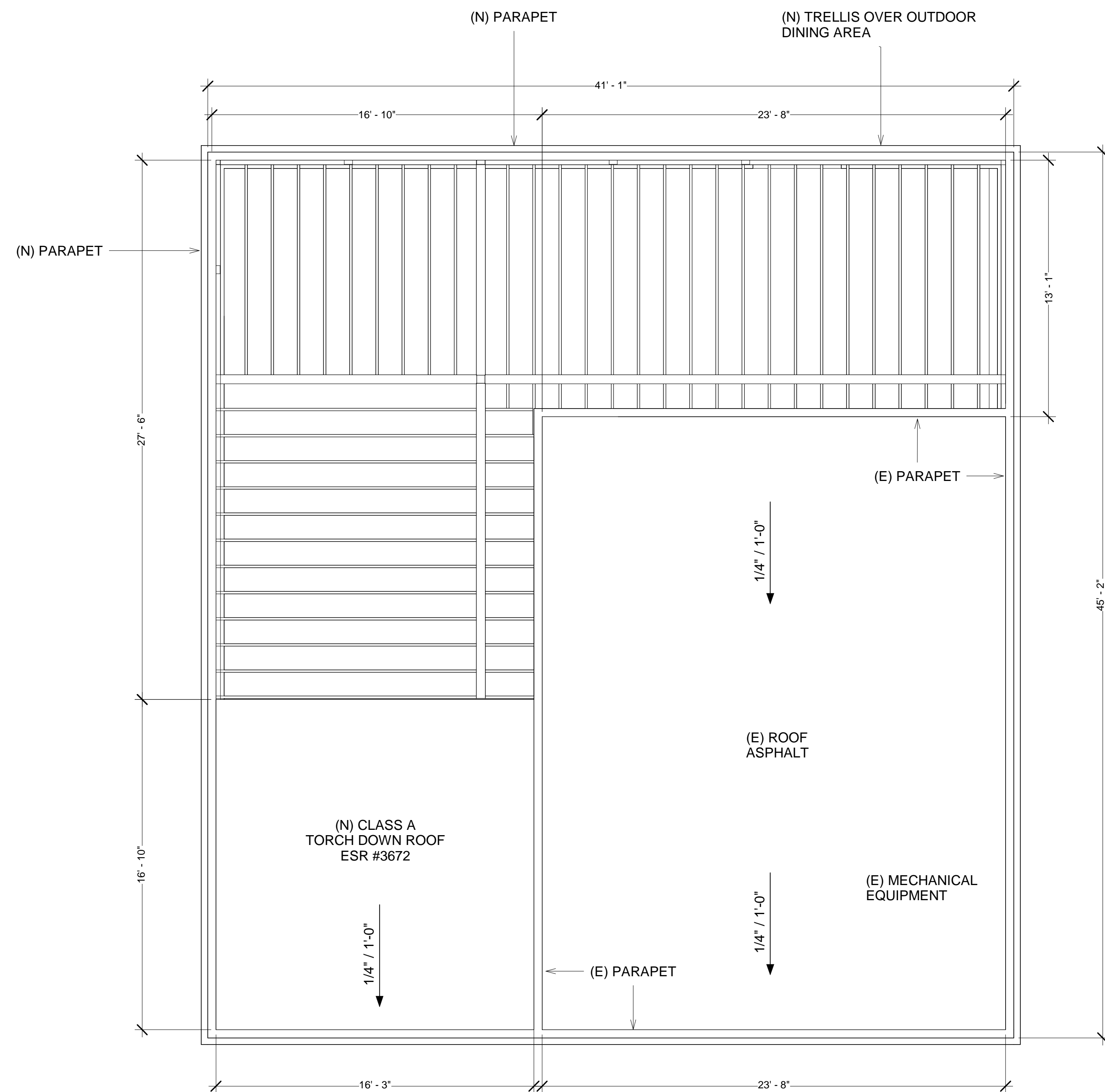








① EXISTING ROOF PLAN  
1/4" = 1'-0"



② PROPOSED ROOF PLAN  
1/4" = 1'-0"

REVISE DATES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.

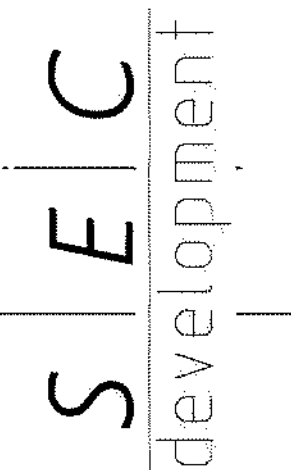
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OWNER:  
SAM HABESYAN  
ADDRESS:  
13702 VENTURA BLVD.,  
SHERMAN OAKS, CA 91423

**EXISTING  
ROOF PLAN &  
PROPOSED ROOF  
PLAN**

SECDEVELOPMENT.NET

(818) 484-7111



SECDEVELOPMENT.NET

(818) 484-7111

PROJECT INFO

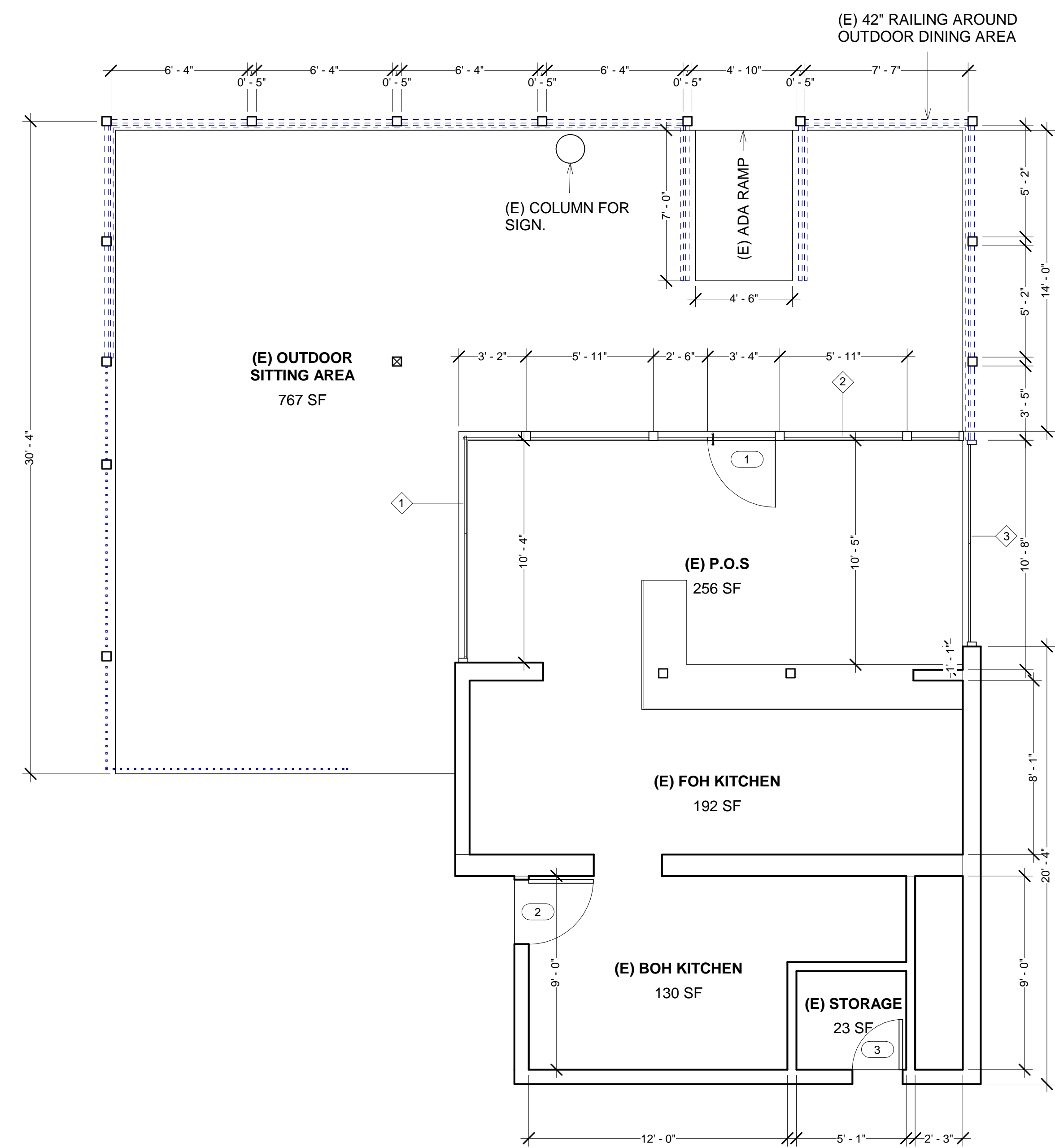
JOB NUMBER:	21041
DATE DRAWN:	4/20/22
DRAWN BY:	S.T.
CHECKED BY:	V.K.
SCALE:	1/4" = 1'

REVISE DATES:

EXISTING DOOR SCHEDULE									
MARK	WIDTH	HEIGHT	OPERATION	FRAMING	MATERIAL	TEMPERED	QUANTITY	U-FACTOR	SHGC
1	3'-6"	7'-10 1/2"	SWING	ALUMINIUM	GLASS	YES	1	0.29	0.32
2	3'-0"	6'-8"	SWING	WOOD	WOOD	NO	2	N/A	N/A
3	2'-4"	6'-8"	SWING	WOOD	WOOD	NO	1	N/A	N/A

EXISTING CURTAIN WALL SCHEDULE				
MARK	WIDTH	HEIGHT	U-FACTOR	SHGC
1	11'-5"	7'-10"	0.30	0.25
2	23'-2"	7'-10"	0.30	0.25
3	9'-6"	7'-10"	0.30	0.25

LEGEND	
DEMO WALL (2X4)	



1 EXISTING & DEMO FLOOR PLAN  
1/4" = 1'-0"

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.

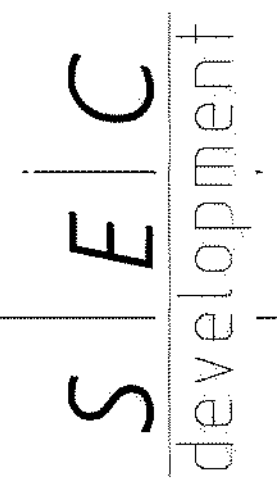
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OWNER:  
SAM HABESYAN  
ADDRESS:  
13702 VENTURA BLVD.,  
SHERMAN OAKS, CA 91423

**EXISTING & DEMO  
FLOOR PLAN**

SECDEVELOPMENT.NET

(818) 484-7111



SECDEVELOPMENT.NET

(818) 484-7111

PROJECT INFO	
JOB NUMBER:	21041
DATE DRAWN:	4/20/22
DRAWN BY:	S.T.
CHECKED BY:	V.K.
SCALE:	1/4" = 1'



REVISE DATES:

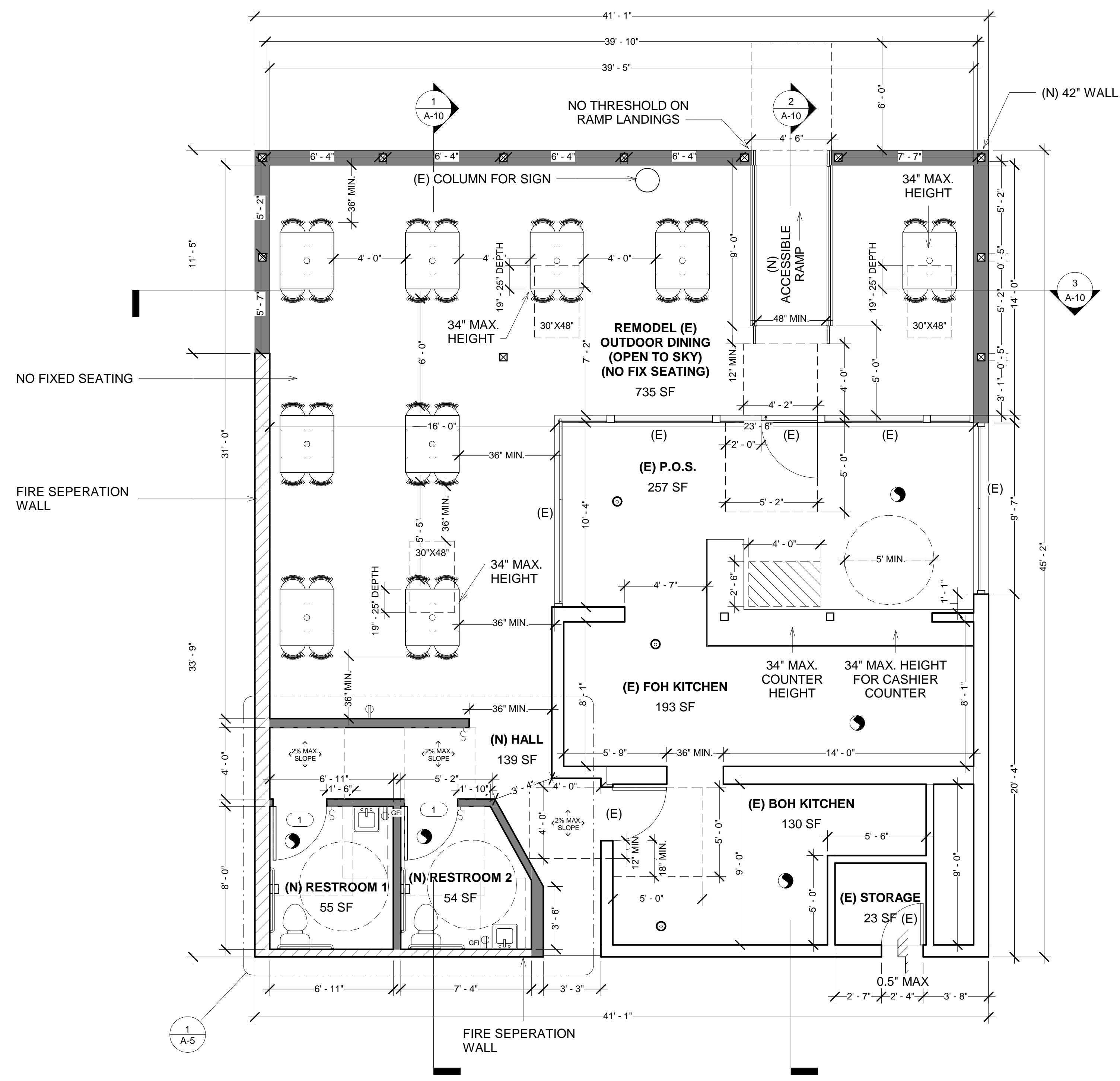
PROPOSED DOOR SCHEDULE								
MARK	WIDTH	HEIGHT	OPERATION	FRAMING	TEMPERED	QUANTITY	U-FACTOR	SHGC
1	3'-0"	6'-8"	SWING	WOOD	WOOD	2	N/A	N/A

**NOTE:**  
 SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.  
 CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.  
 FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN 50% TO A MAXIMUM OF 80% UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.  
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OWNER:  
 SAM HABESYAN  
 ADDRESS:  
 13702 VENTURA BLVD.,  
 SHERMAN OAKS, CA 91423

**PROPOSED FLOOR PLAN**



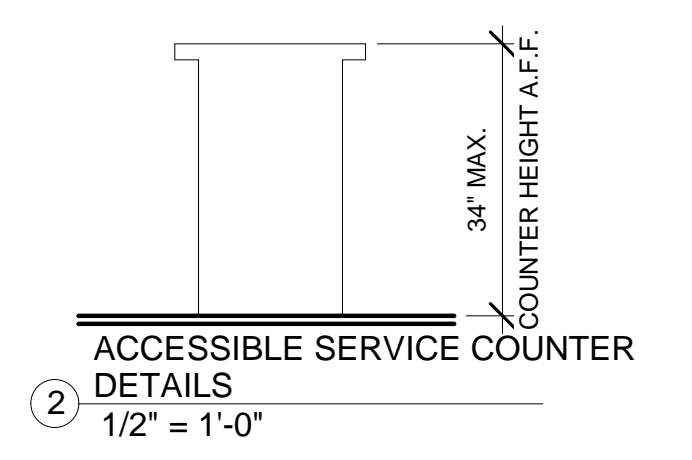
LEGEND	
EXISTING WALL (2X4)	[Symbol]
NEW WALL (2X4)	[Symbol]
SOUND & FIRE RATED WALL (DETAIL ON A-11)	[Symbol]
ENERGY STAR EXHAUST 50 CFM DUCTED TO OUTSIDE AND CONTROLLED BY HUMIDISTAT	[Symbol]
SMOKE DETECTOR / CARBON MONOXIDE	[Symbol]

ELECTRICAL LEGEND	
[Symbol]	SINGLE SWITCH
[Symbol]	DOUBLE SWITCH
[Symbol]	DIMMER SWITCH
[Symbol]	DOUBLE OUTLET
[Symbol]	GFI OUTLET
[Symbol]	RANGE OUTLET
[Symbol]	240V OUTLET

FINISH SCHEDULE				
AREA	FLOOR	COVERBASE	WALL	CEILING
REMODEL (E) OUTDOOR DINING (OPEN TO SKY)	NON SLIP TILE	3/8" RADIUS 6" COVERED BASE QUARRI TILE	PAINTED DRYWALL, WASHABLE, SMOOTH, WHITE	TRELLIS, PAINTED BLACK OPEN TO SKY
RESTROOM	SMOOTH CONCRETE	3/8" RADIUS 6" COVERED BASE QUARRI TILE	PAINTED DRYWALL, WASHABLE, SMOOTH, WHITE	HARD CEILING W/ PAINT, WASHABLE, SMOOTH, WHITE

CPC, CH.4  
 422.1 FIXTURE COUNT:  
 THIS REQUIREMENT SHALL NOT APPLY WHEN SINGLE OCCUPANCY TOILET FACILITIES ARE PROVIDED FOR EACH SEX IN ON A OR E OCCUPANCY WITH ON OCCUPANT LOAD OF LESS THAN 50.

OCCUPANCY LOAD	
A-2 = 15 NET	
735 SF / 15 NET = 49 OCCUPANTS / 2 = 25	
A-2 OCCUPANCY	
WATER CLOSETS:	
MALE	FEMALE
1: 1-50	1: 1-25
2: 51-150	2: 26-50
3: 151-300	3: 51-100
4: 301-400	4: 101-200
	5: 201-300
	6: 301-400
LAVATORIES:	
1: 1-150	1: 1-150
2: 151-200	2: 151-200
3: 201-400	3: 201-400



**CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY DISABLED ACCESS SECTION**

This set of plans and specifications has been reviewed and is approved for compliance with state and local laws and ordinances related to accessibility to public accommodations and housing.

The stamping of this set of plans and specifications shall not be held to permit or to be an approval of the violation of any provisions of federal, state, and local laws and ordinances related to accessibility to public accommodations and housing.

By: \_\_\_\_\_ Total of \_\_\_\_\_ Sheets  
 Date: \_\_\_\_\_

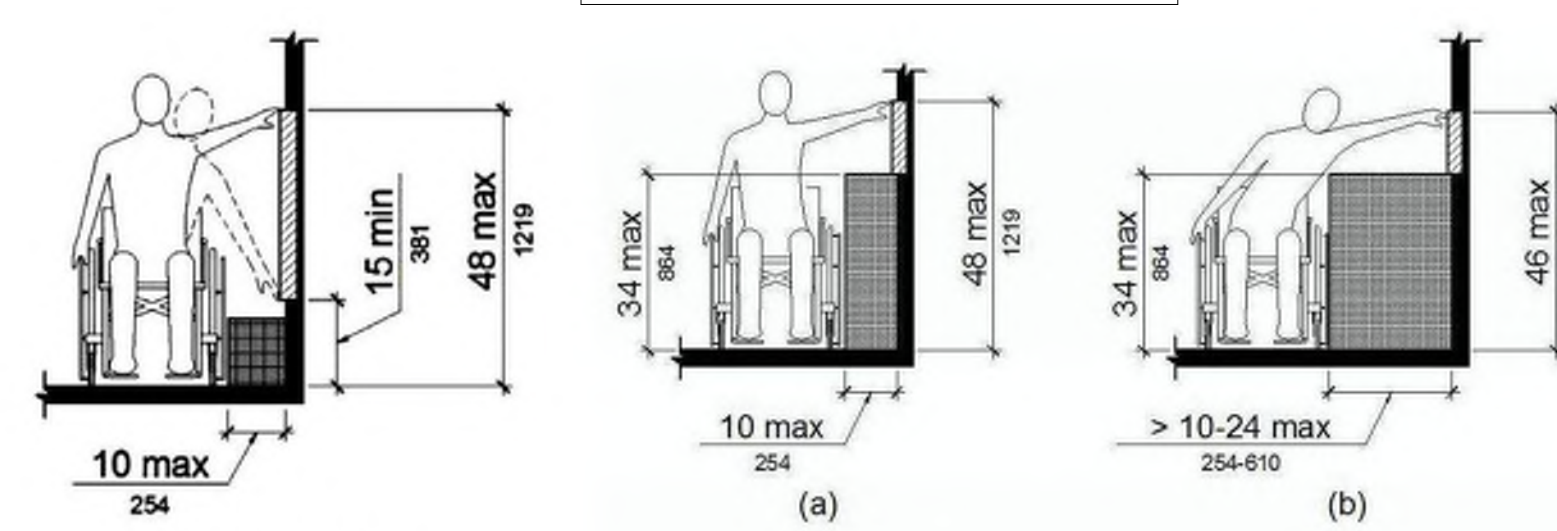
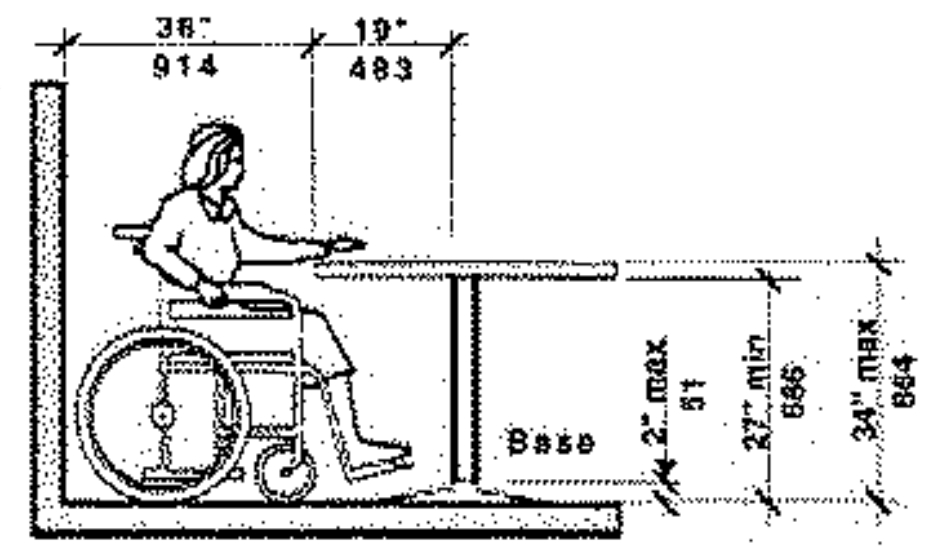
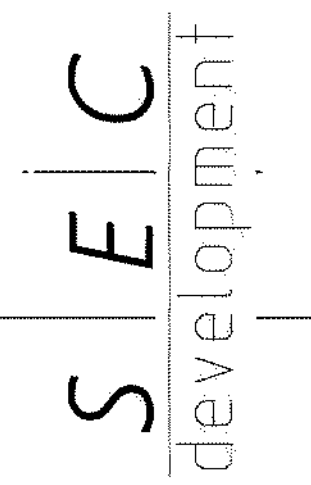


FIGURE 11B-308.3.1 UNOBSTRUCTED SIDE REACH  
 FIGURE 11B-308.3.2 REACH INTO CABINET REACH RANGE DETAILS

1 PROPOSED FLOOR PLAN  
 1/4" = 1'-0"

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PROJECT INFO	
JOB NUMBER:	21041
DATE DRAWN:	4/20/22
DRAWN BY:	S.T.
CHECKED BY:	V.K.
SCALE:	1/4" = 1'



ATTACHMENT  
IDENTIFICATION OF ALL GENDER SINGLE-USER TOILET FACILITIES  
Compliant with the California Building Code (CBC) Chapter 11B

EXHIBIT A - Door Symbol (required by the CBC)

This image represents the door symbol that is required by CBC 11B-216.8 to identify an all-gender/unisex single-user toilet facility. The symbol must comply with the requirements of CBC 11B-703.7.2.6.3. No pictogram, text, or braille is required on the symbol.

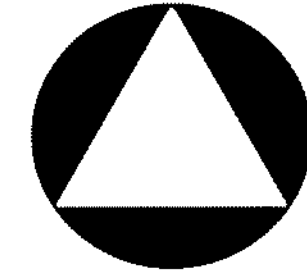
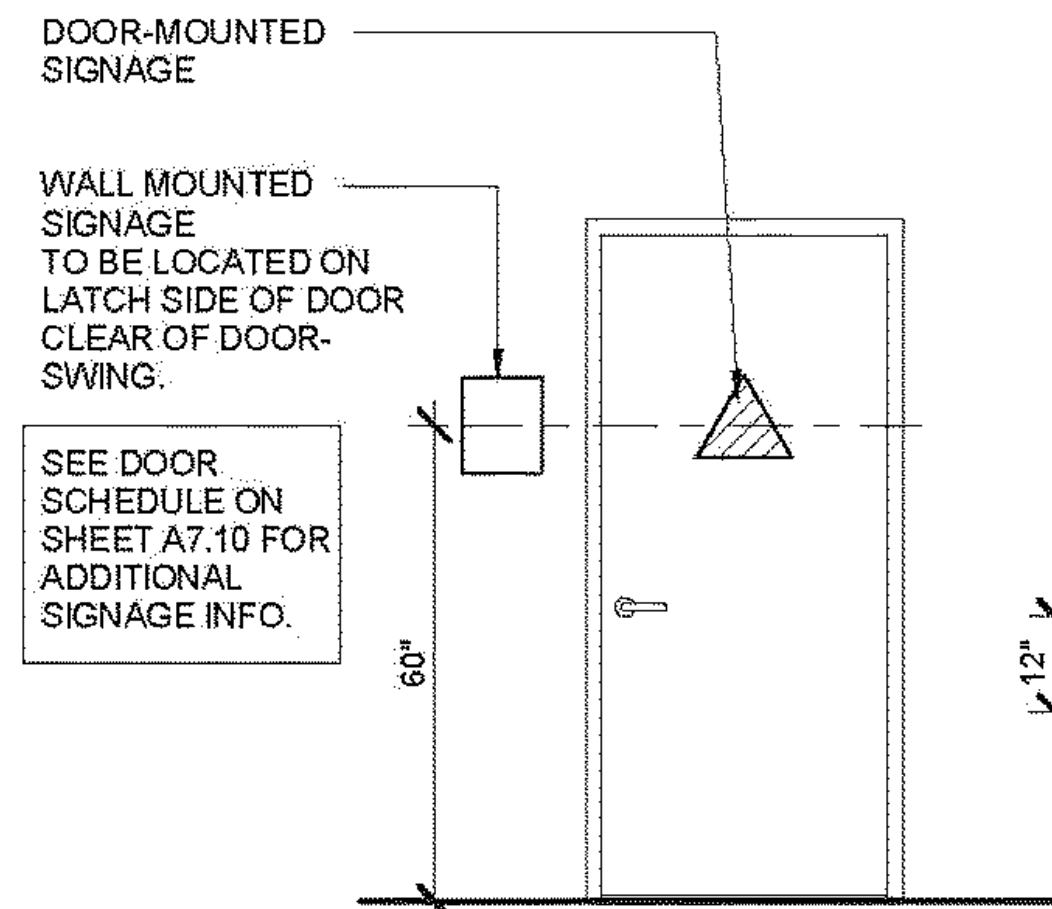


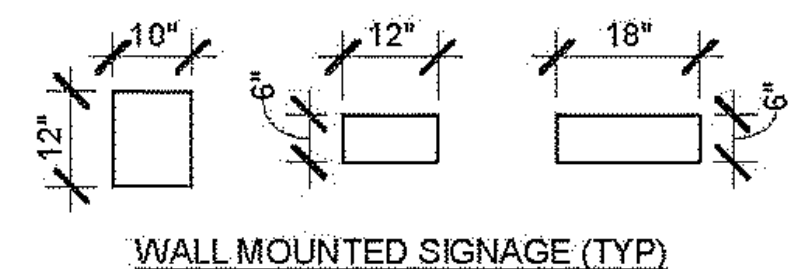
EXHIBIT B - Designation sign on wall

Designation signs are not required to be provided by the CBC or the 2010 ADAS. If provided, a designation sign adjacent to the door must comply with the scoping requirements of CBC 11B-216.2, and the technical requirements for raised characters (CBC 11B-703.2), braille (CBC 11B-703.3), visual characters (CBC 11B-703.5), and requirements for installation height and location (CBC 11B-703.4). No pictogram is required. The following signs illustrate acceptable examples for designation sign text:

Note: Braille translation not verified by DSA.



DOOR MOUNTED SIGNAGE (TYP)  
SIGNAGE TO BE MOUNTED WITH NON-RETRACTABLE SCREWS



WALL MOUNTED SIGNAGE (TYP)

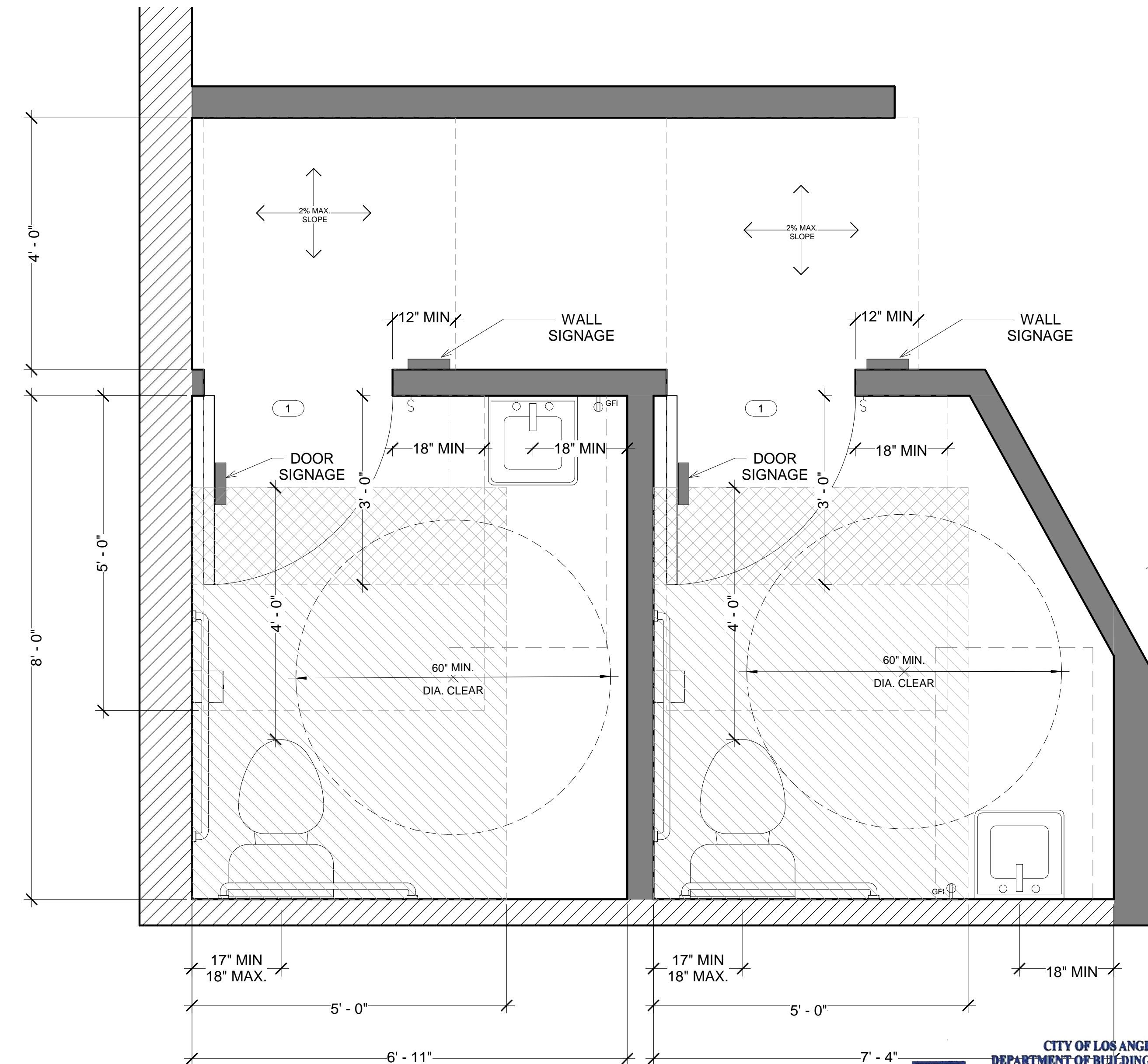
- THE DOORWAYS LEADING TO SANITARY FACILITIES SHALL BE IDENTIFIED AS FOLLOWS:
  - AN EQUILATERAL TRIANGLE 1/4" THICK W/ EDGES 12" LONG AND VORTEX POINTING UPWARD AT MEN'S RESTROOMS.
  - A CIRCLE 1/4" THICK, 12" DIA. AT WOMEN'S RESTROOMS.
  - A CIRCLE 1/4" THICK, 12" DIA. OVERLAYED BY AN EQUILATERAL TRIANGLE 1/4" THICK W/ EDGES 12" LONG AND VORTEX POINTING UPWARD AND CONTRASTING COLORS BETWEEN EACH AT UNISEX RESTROOMS.
  - THE REQUIRED SYMBOLS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 60".
  - BRAILLE SIGNAGE SHALL ALSO BE LOCATED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOORWAYS LEADING TO THE SANITARY FACILITIES.

NOTES:

- CHARACTERS, SYMBOLS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- CHARACTERS AND NUMBERS ON SIGNS REQ'D TO BE ACCESSIBLE SHALL BE SIZED ACCORDING TO CODE.
- CONTRACTED (GRADE 2) BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQ'D. DOTS SHALL BE 1/10 INCH ON CENTERS IN EACH CELL WITH 2/10 INCH SPACE BETWEEN CELLS. DOTS SHALL BE RAISE A MINIMUM OF 1/40 INCH ABOVE THE BACKGROUND

ACCESSIBLE RESTROOM NOTES:

- MIRROR BOTTOM EDGE NO HIGHER THAN 40" A.F.F.
- FLOOR SURFACE SHALL BE OF A MATERIAL PROVIDING SLIP RESISTANCE.
- FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND.
- TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4".
- WALLS WITHIN 2 FT OF THE FRONT AND SIDES OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE OF PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER SMOOTH, HARD NON-ABSORBENT SURFACE TO A HEIGHT OF 4 FT.
- FLUSH CONTROL SHOULD BE ON THE OPEN SIDE OF THE WATER CLOSET.



1 ENLARGED RESTROOM PLAN  
3/4" = 1'-0"



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By: \_\_\_\_\_ Total of \_\_\_\_\_ Sheets

Date: \_\_\_\_\_

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
DISABLED ACCESS SECTION

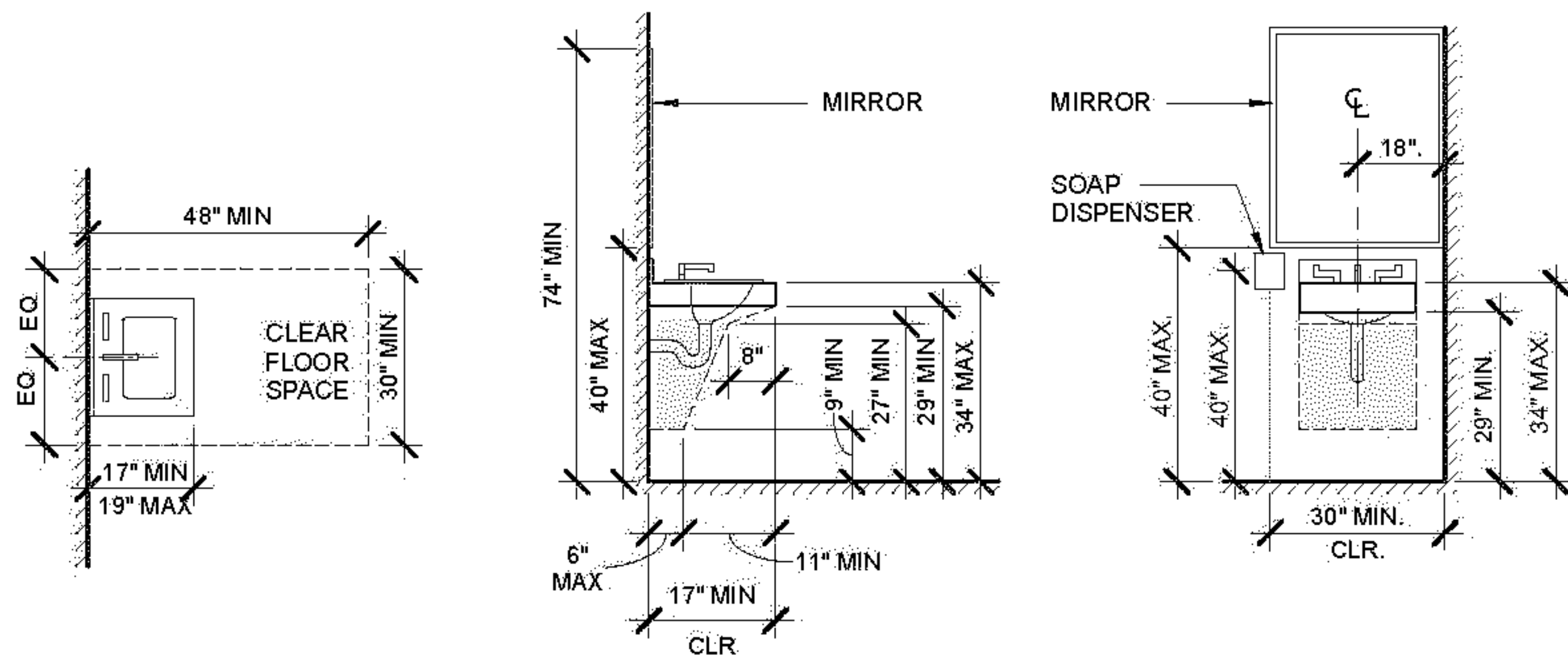


ENLARGED  
RESTROOM PLAN

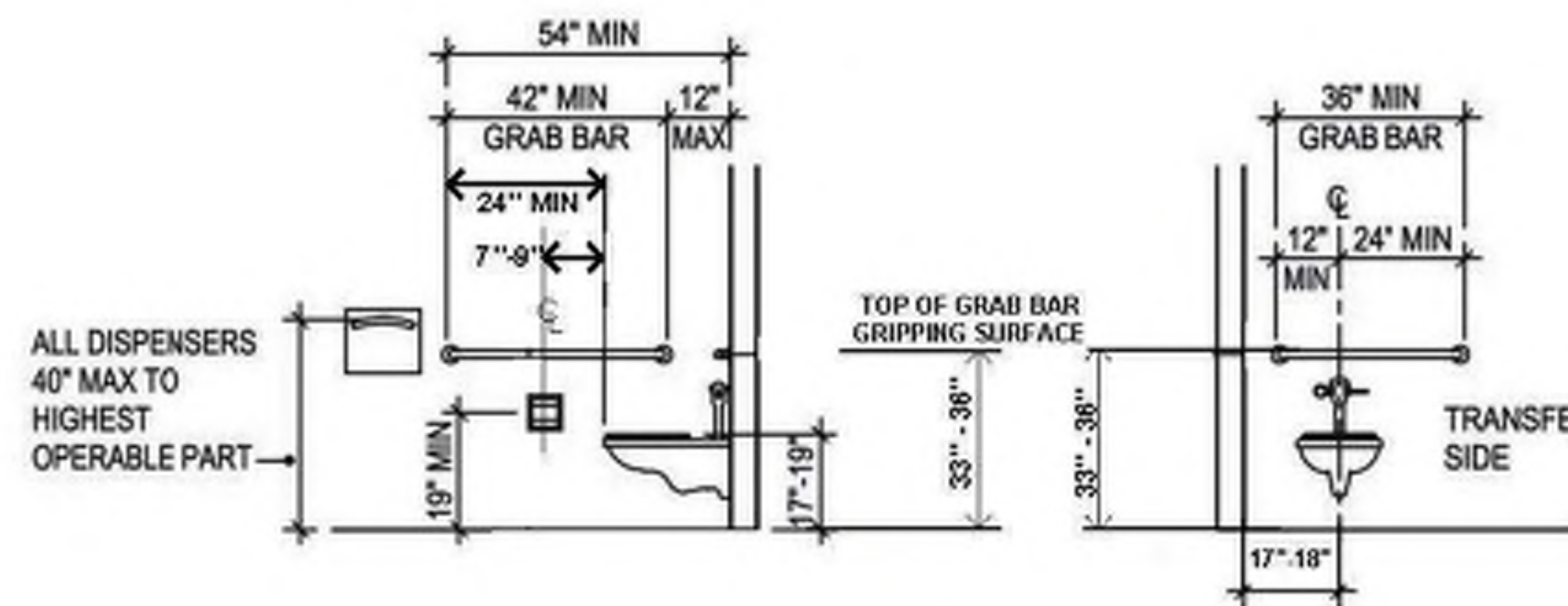
OWNER:  
SAM HABESYAN  
ADDRESS:  
13702 VENTURA BLVD.,  
SHERMAN OAKS, CA 91423

REVISE DATES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK  
AS INSTRUMENT OF SERVICE, ALL DESIGN IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF SEC DEVELOPMENT. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF SEC DEVELOPMENT. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



2 FIXTURE DETAILS  
3/4" = 1'-0"



OCCUPANCY LOAD	
A-2 = 15 NET 735 SF / 15 NET = 49 OCCUPANTS / 2 = 25	
A-2 OCCUPANCY	
WATER CLOSETS:	
MALE	FEMALE
1: 1-50	1: 1-25
2: 51-150	2: 26-50
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CPC, CH.4  
422.1 FIXTURE COUNT:  
THIS REQUIREMENT SHALL NOT APPLY WHEN SINGLE OCCUPANCY TOILET FACILITIES ARE PROVIDED FOR EACH SEX IN ON A OR E OCCUPANCY WITH ON OCCUPANT LOAD OF LESS THAN 50.

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S E I C  
development  
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(618) 935-1171

PROJECT INFO	
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DRAWN BY:	S.T.
CHECKED BY:	V.K.
SCALE:	3/4" = 1'

OMC A-5



REVISE DATES:

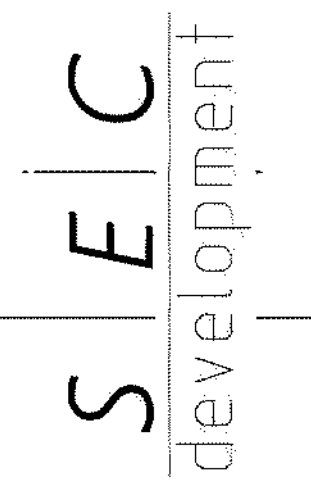
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**PROPOSED  
CEILING PLAN &  
EGRESS PLAN**

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(818) 484-7111



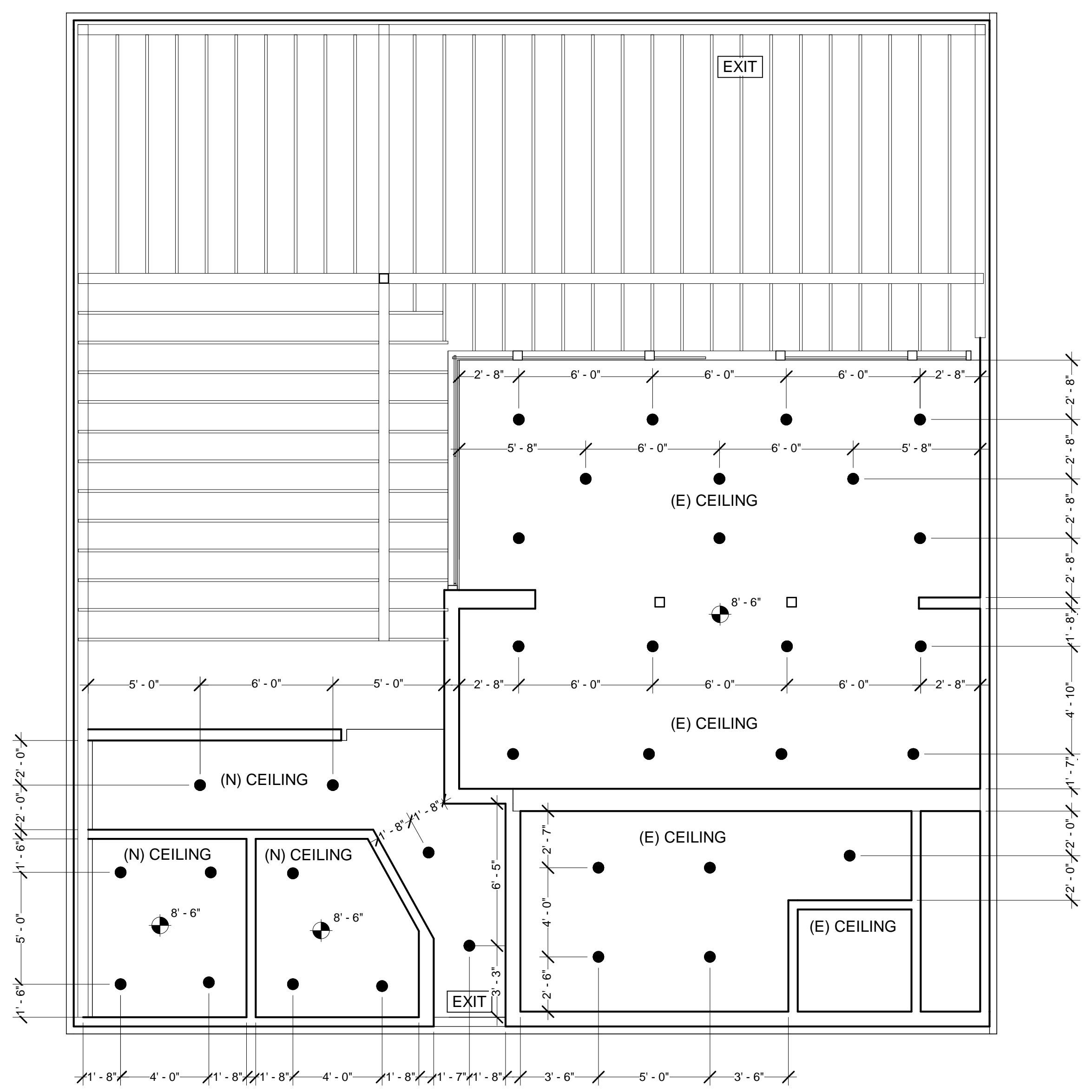
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PROJECT INFO	
JOB NUMBER:	21041
DATE DRAWN:	4/20/22
DRAWN BY:	S.T.
CHECKED BY:	V.K.
SCALE:	1/4" = 1'

MEANS OF EGRESS NOTES:

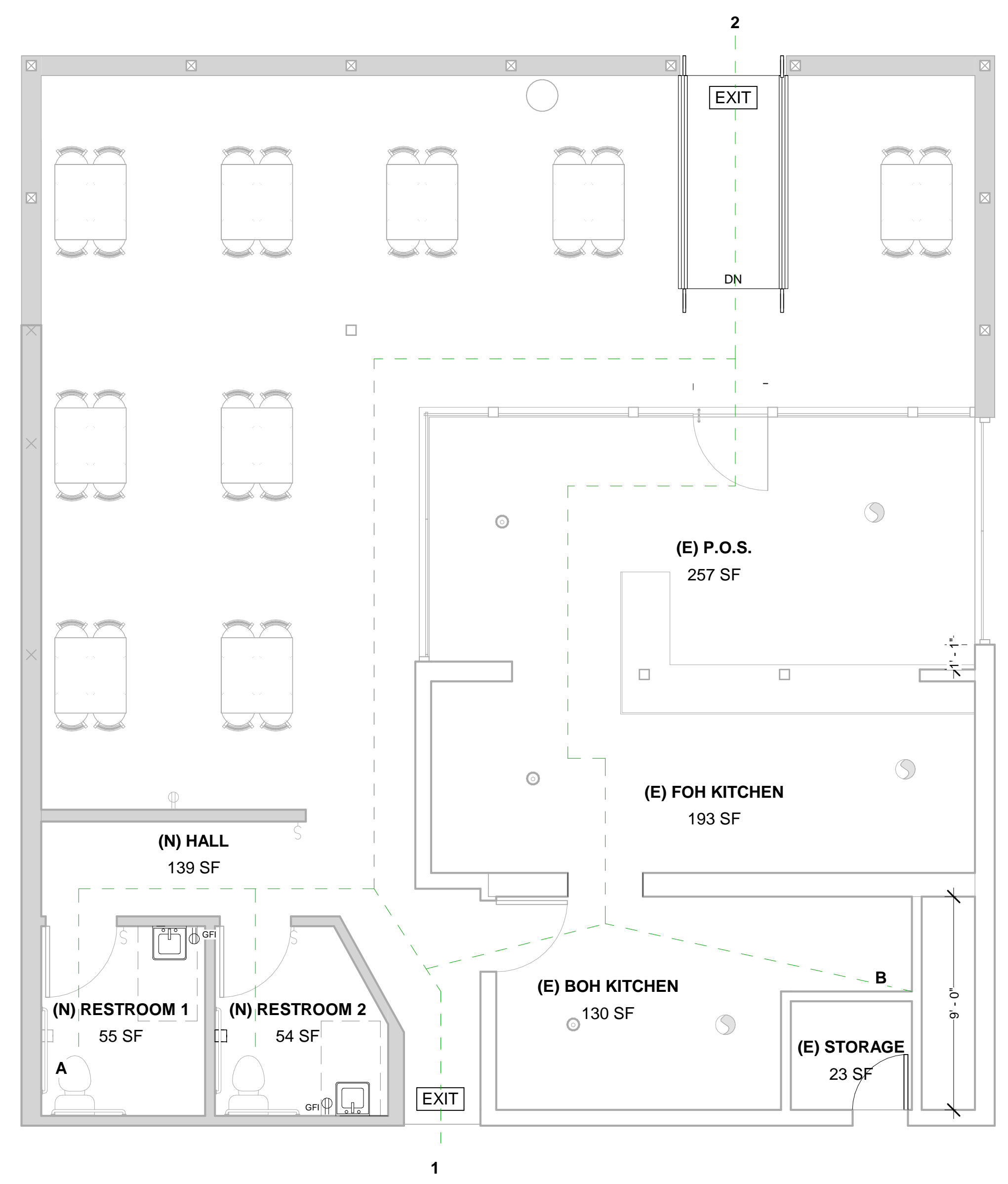
- A. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED
- B. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 IUX).
- C. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER INSTRUCTIONS AND SECTION 2702.1013.5
- D. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. 1013.3
- E. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS. 1013.6.3
- F. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1010.1.9.3 FOR EXCEPTIONS.
- G. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR
- H. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
- I. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9 & 1010.1.9.12
- J. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
- K. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE
- L. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:
  - I. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS
  - II. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS;
  - III. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - IV. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1028.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - V. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1010.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS

- 1. ALL EXIT DOORS SHALL COMPLY WITH SECTION 1010.1
- A. CLEAR WIDTH OF EACH DOOR OPENING SHALL BE MIN. 32" OR PER SEC. 1005.3.2, WHICHEVER IS GREATER
- B. MIN. DOOR HEIGHT OF 6 FEET - 8 FEET.
- C. SHALL BE CAPABLE OF OPENING 90 DEGREES.
- D. THE MAXIMUM WIDTH OF A SWINGING DOOR LEAF SHALL BE 48" NOMINAL.
- E. EXIT DOOR SHALL BE SIDE-HINGED SWINGING TYPE.



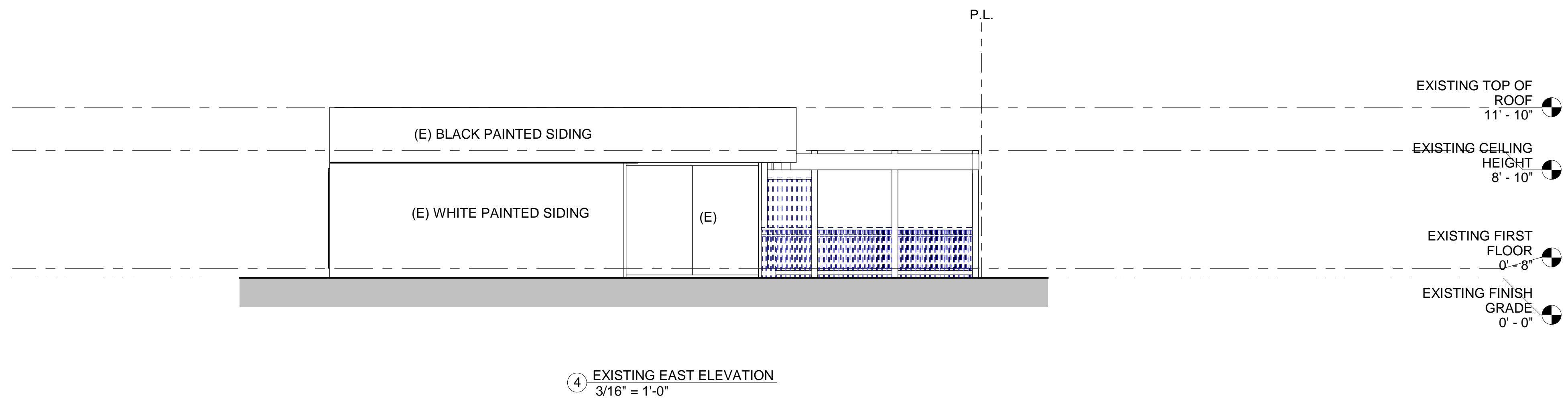
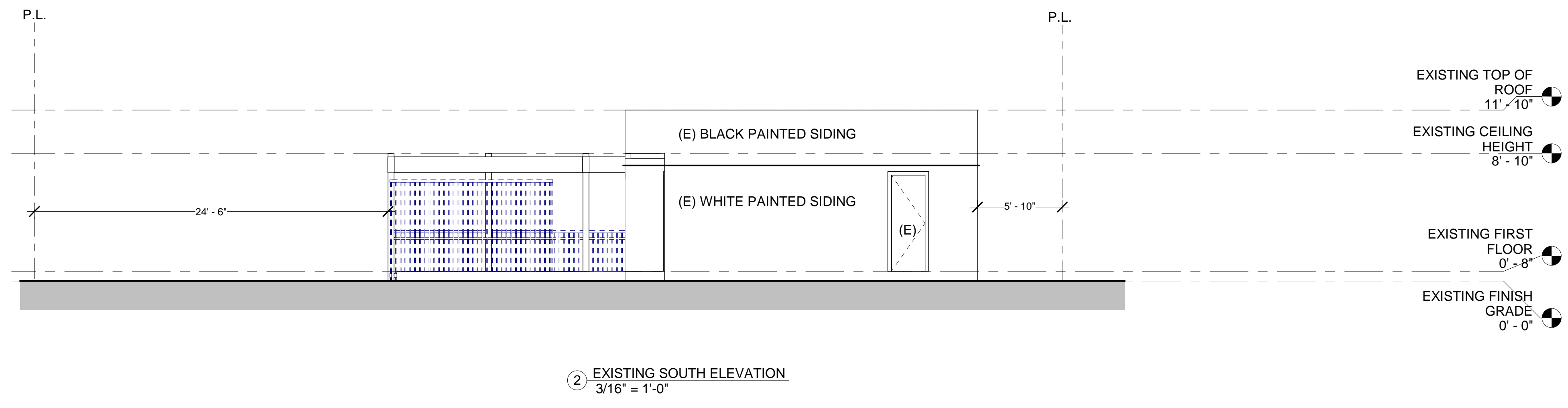
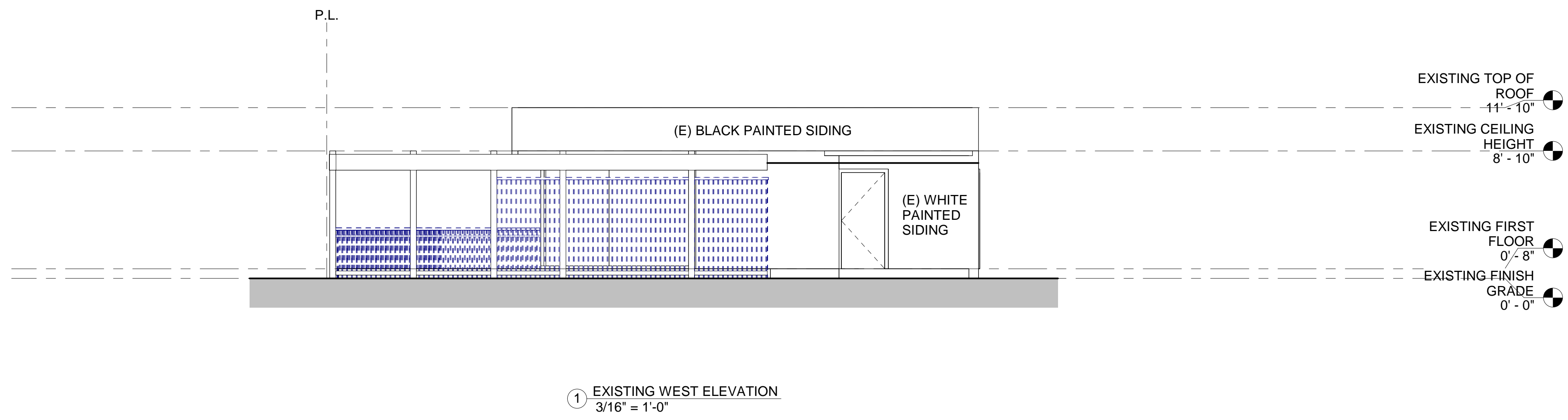
1 PROPOSED CEILING PLAN  
1/4" = 1'-0"

LIGHT LEGEND		
TYPE OF LIGHT	SYMBOL	QUANTITY
RECESSED CAN	●	34
EXIT SIGN	EXIT	2



2 MEANS OF EGRESS PLAN  
1/4" = 1'-0"

PATH OF TRAVEL
COMMON PATH OF TRAVEL 1A = 41'
COMMON PATH OF TRAVEL 1B = 28'
COMMON PATH OF TRAVEL 2A = 72'
COMMON PATH OF TRAVEL 2B = 48'



REVISE DATES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

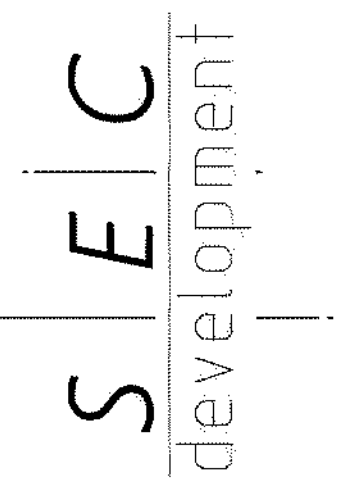
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**EXISTING ELEVATIONS**

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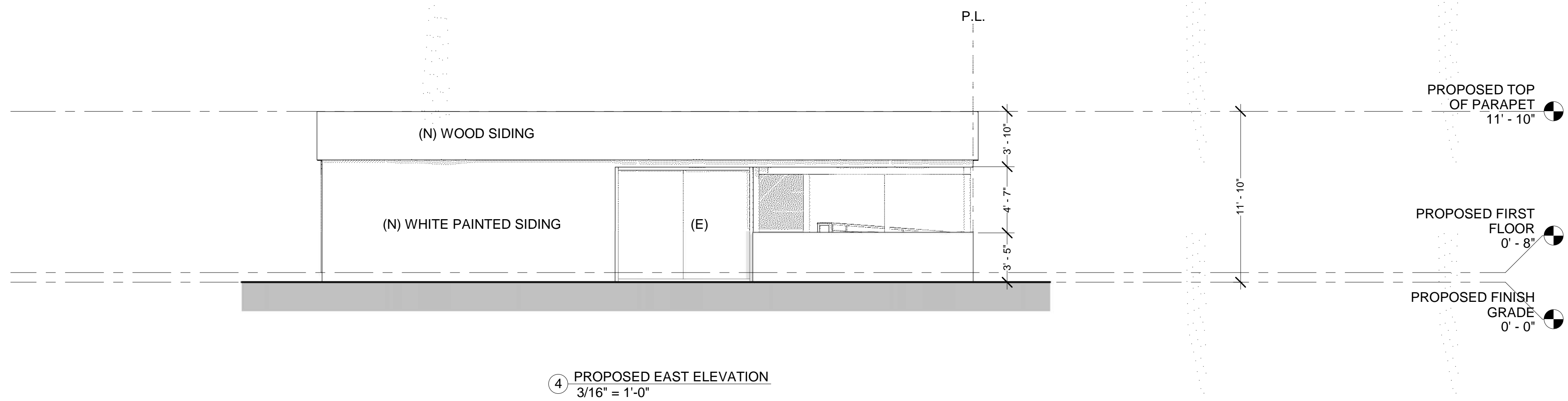
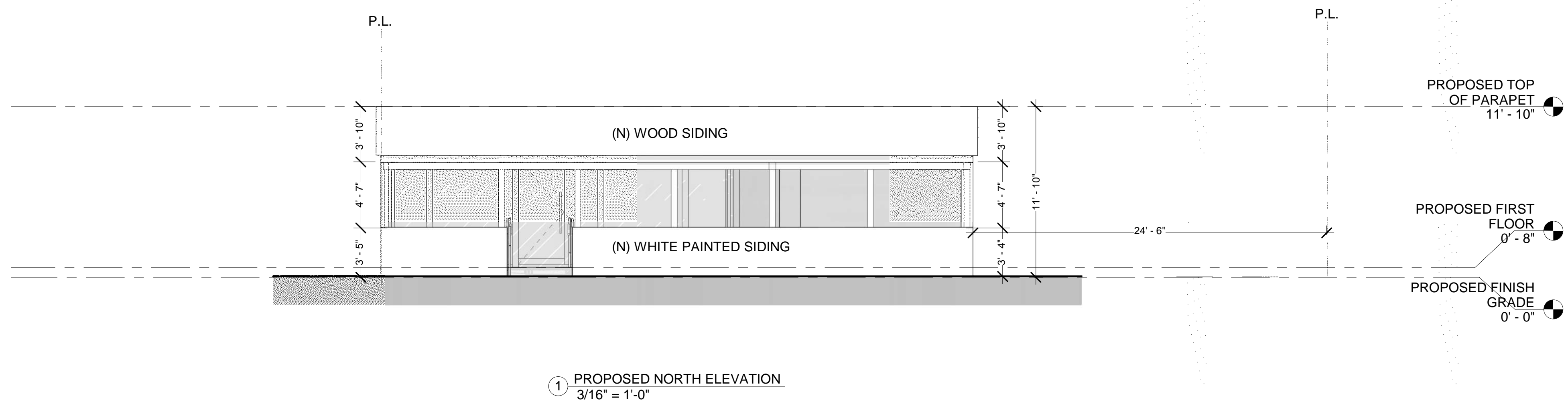
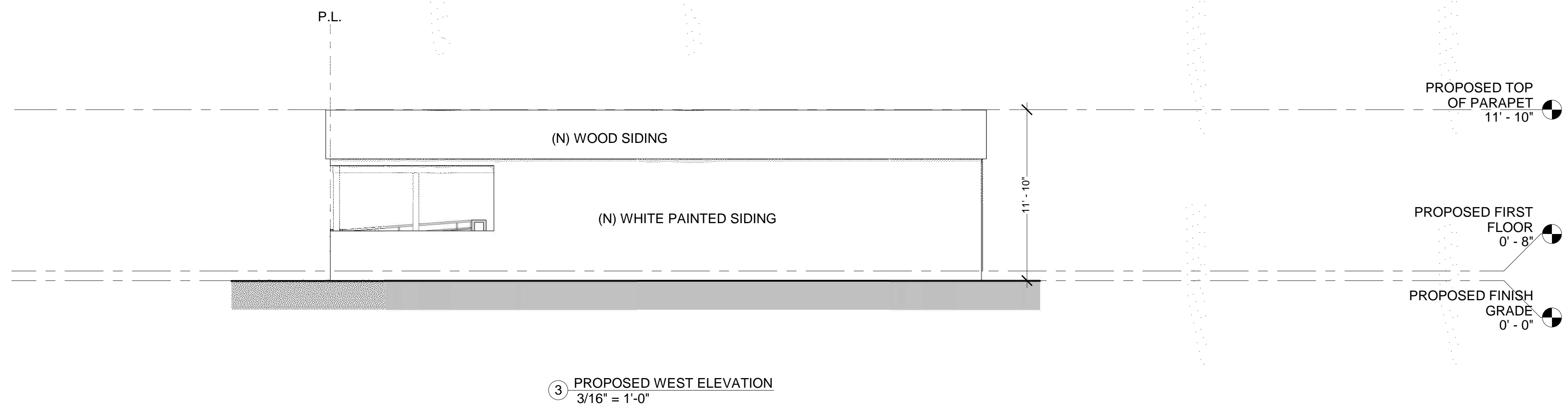
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PROJECT INFO	
JOB NUMBER:	21041
DATE DRAWN:	4/20/22
DRAWN BY:	S.T.
CHECKED BY:	V.K.
SCALE:	3/16" = 1'



REVISE DATES:

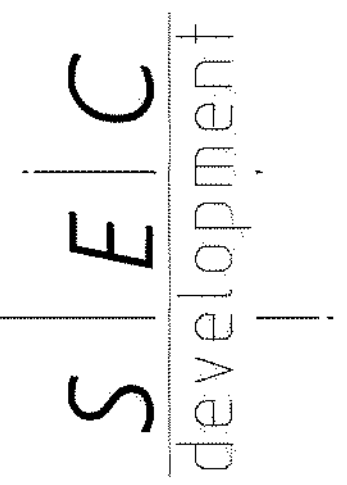
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**SHADOW  
ELEVATIONS  
STUDY**

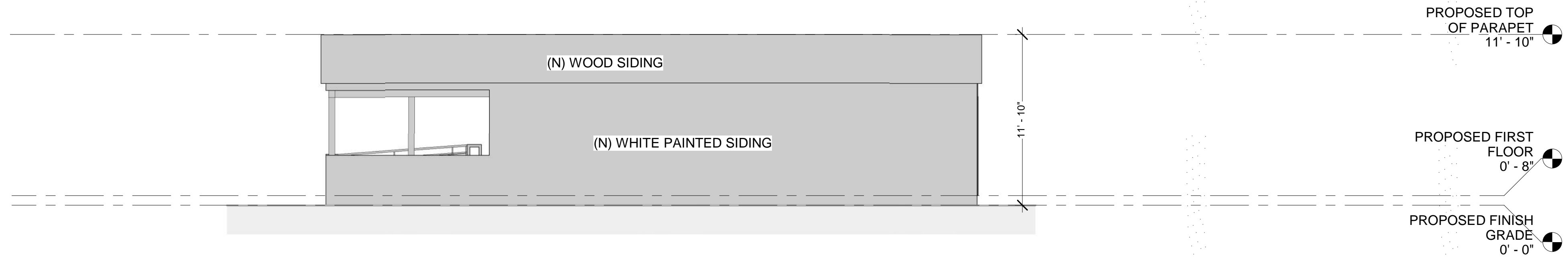
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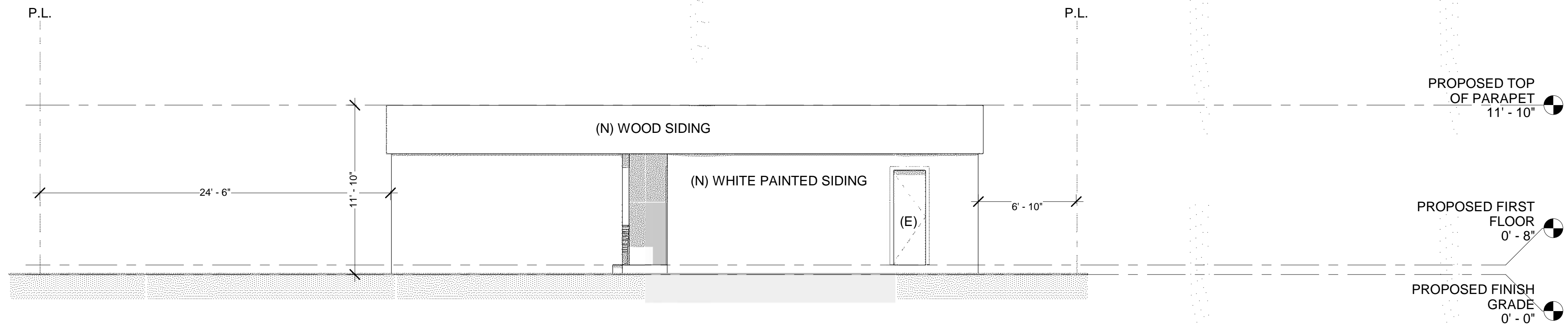
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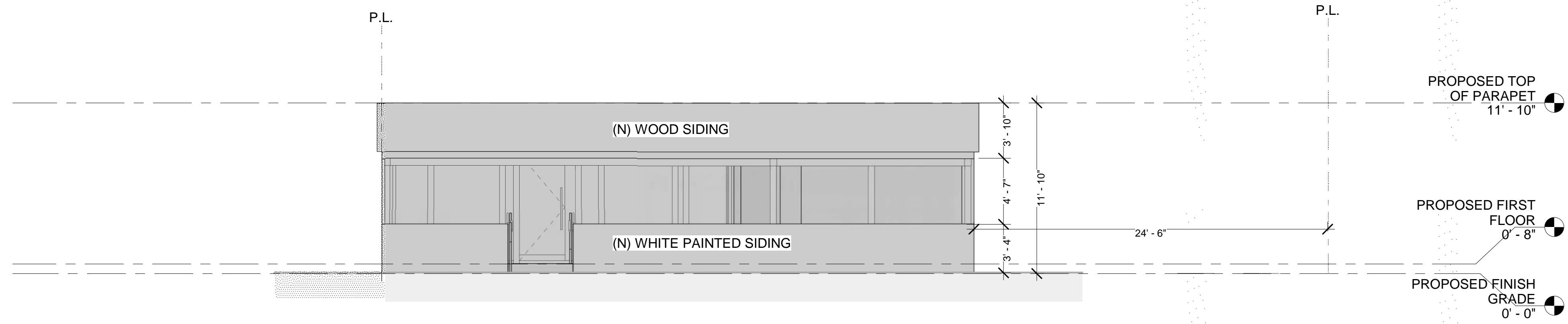




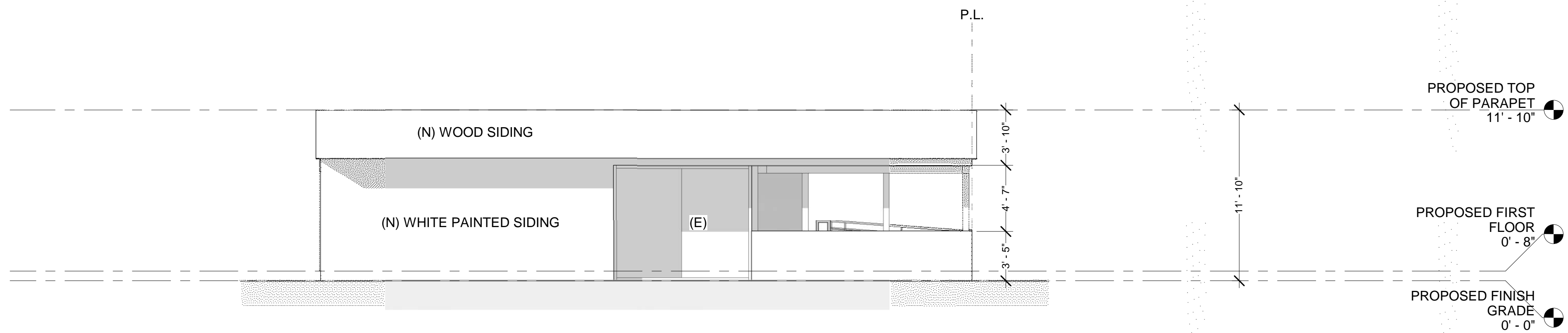
④ SHADOW STUDY WEST ELEVATION  
3/16" = 1'-0"



① SHADOW STUDY SOUTH ELEVATION  
3/16" = 1'-0"



② SHADOW STUDY NORTH ELEVATION  
3/16" = 1'-0"



③ SHADOW STUDY EAST ELEVATION  
3/16" = 1'-0"

ELEVATIONS REPRESENT  
SHADOW IMPACTS ON  
DECEMBER 22, AT 11:30AM

REVISE DATES:

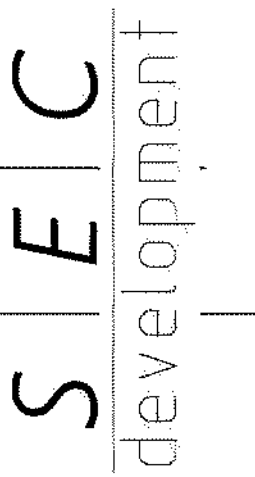
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**SHADOW  
STUDY**

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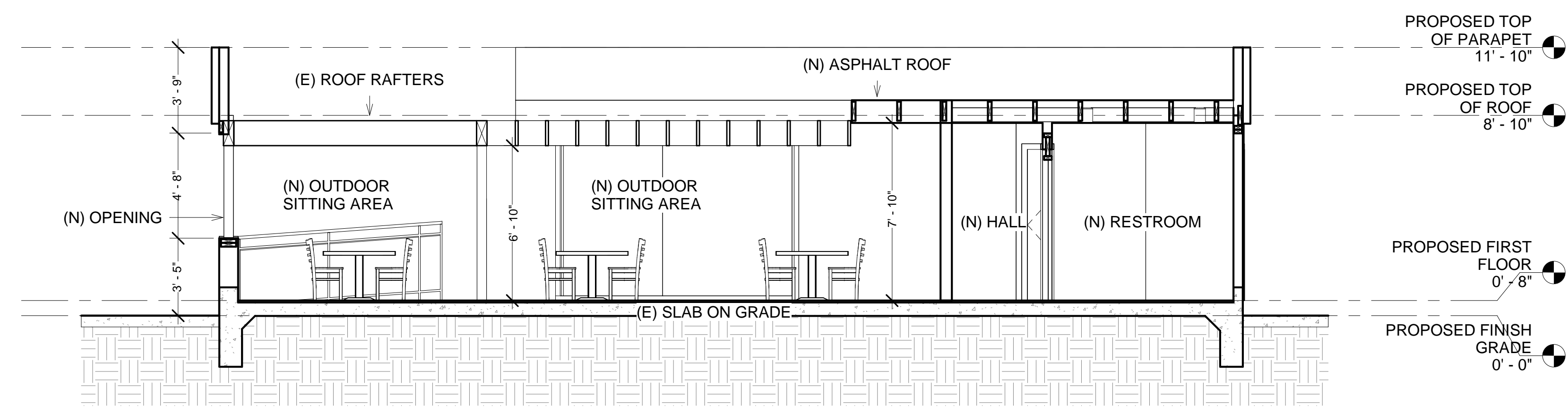
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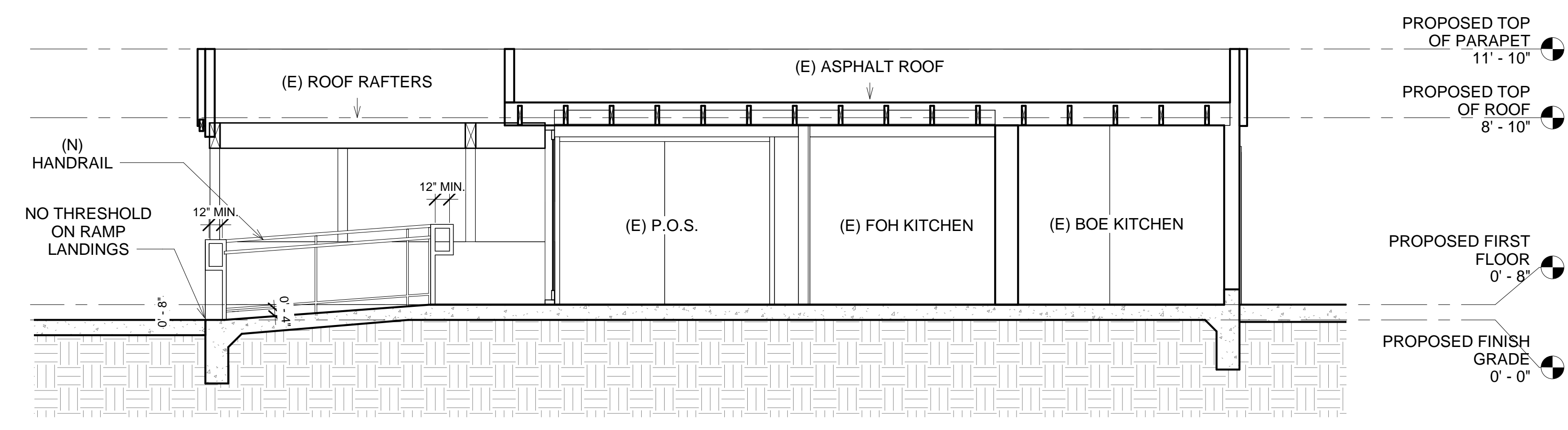
PROJECT INFO

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SCALE:	3/16" = 1'

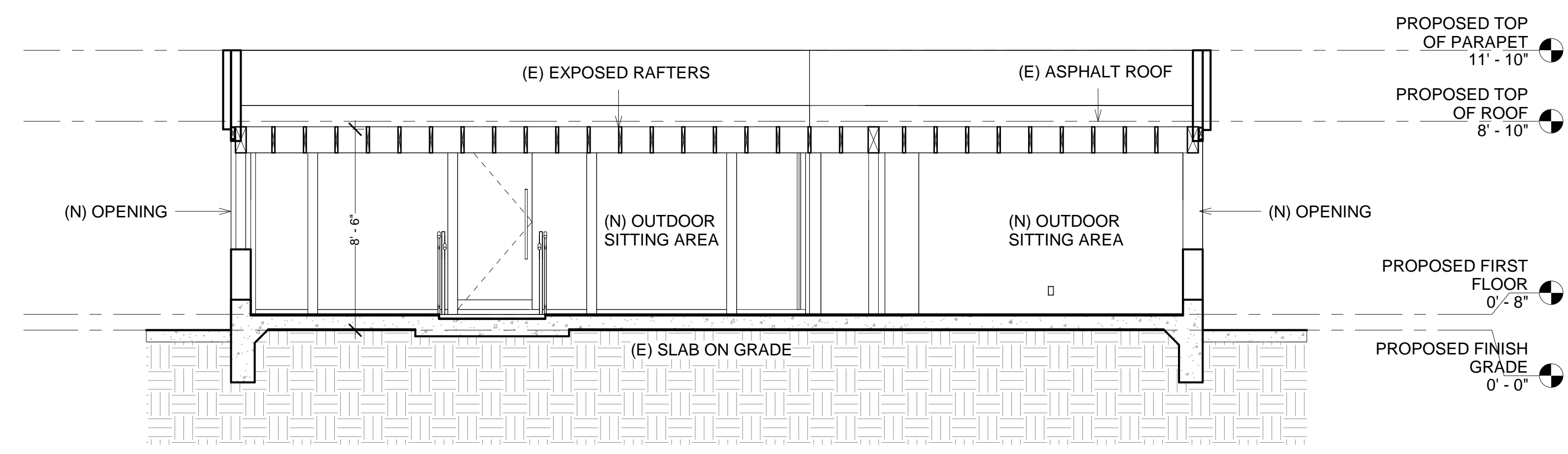
REVISE DATES:



SECTION 1  
1/4" = 1'-0"



SECTION 2  
1/4" = 1'-0"



SECTION 3  
1/4" = 1'-0"

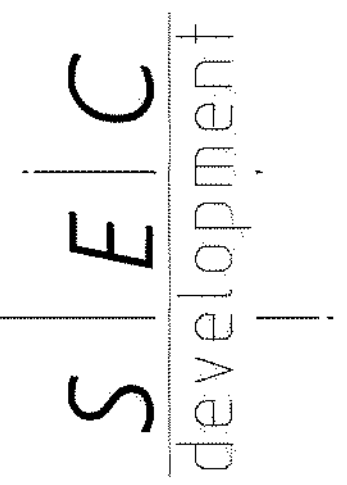
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SECTIONS

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**CITY OF LOS ANGELES**  
**DEPARTMENT OF BUILDING AND SAFETY**  
**DISABLED ACCESS SECTION**

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By: \_\_\_\_\_ Total of \_\_\_\_\_ Sheets

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SCALE:	1/4" = 1'

REVISE DATES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK  
AS INSTRUMENT OF SERVICE, ALL DESIGN IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF SEC DEVELOPMENT NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF SEC DEVELOPMENT. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

OWNER:  
SAM HABESYAN  
ADDRESS:  
13702 VENTURA BLVD.,  
SHERMAN OAKS, CA 91423

DETAILS & FIRE & SOUND RATED WALLS

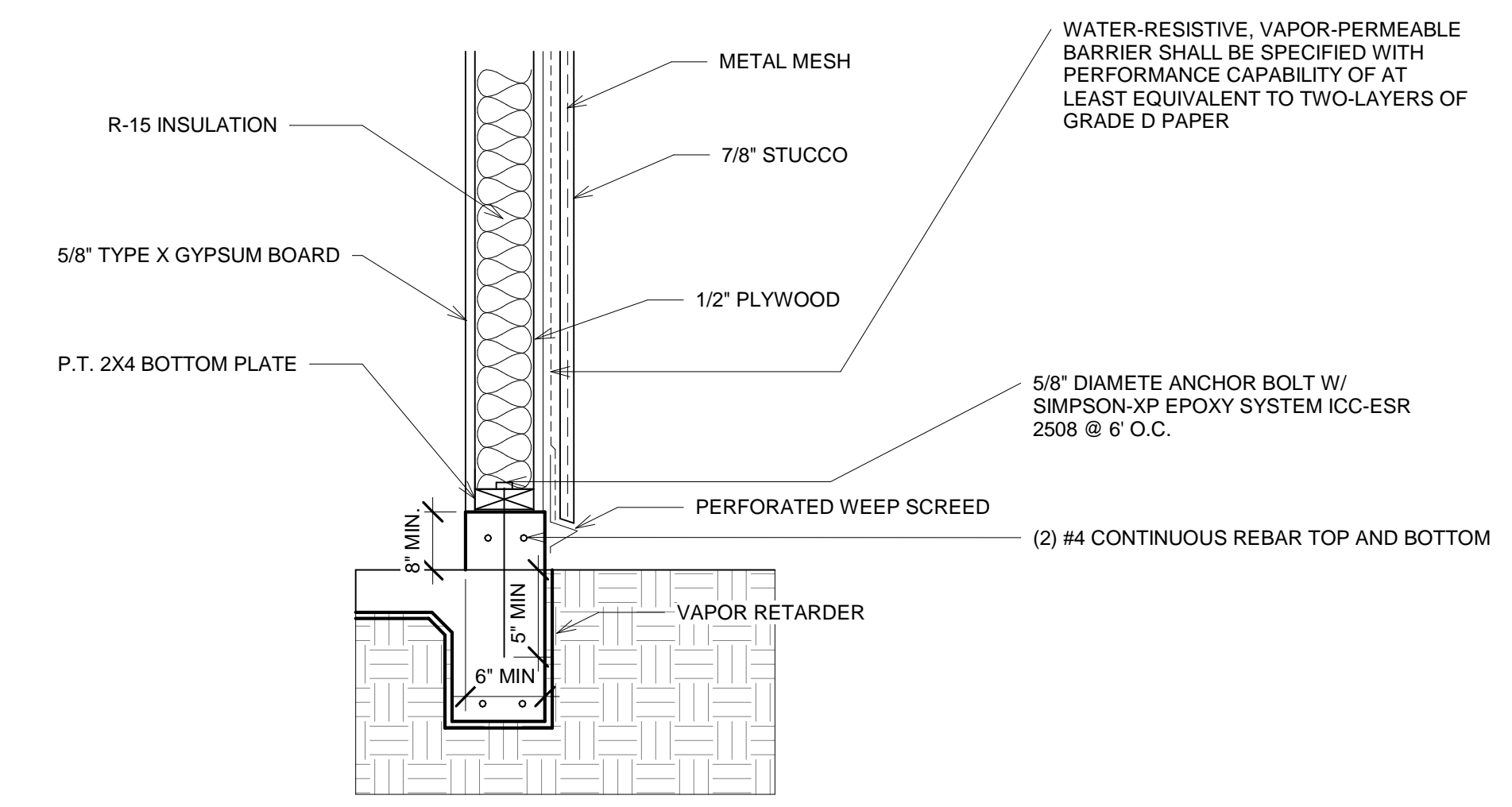
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(818) 464-7111

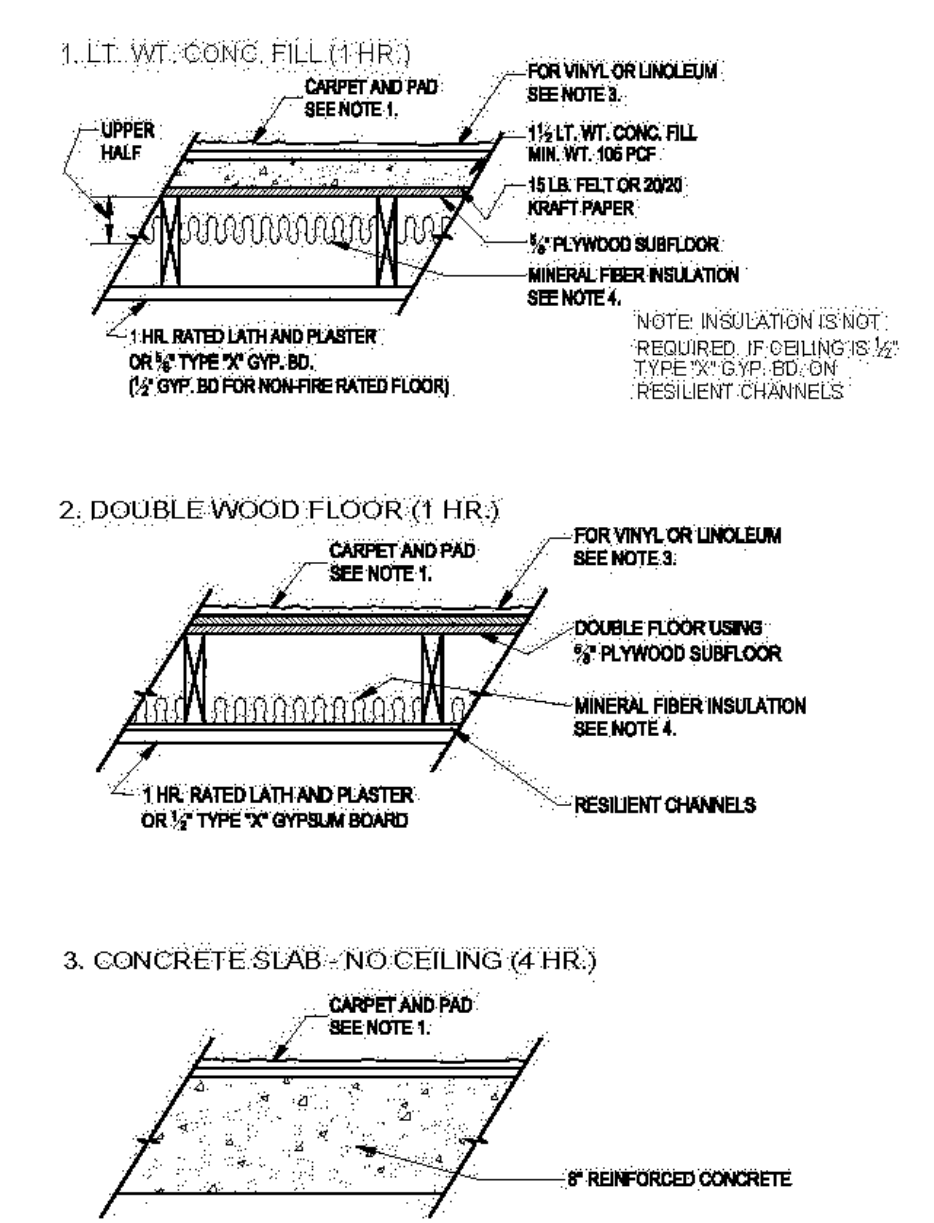
PROJECT INFO	
JOB NUMBER:	21041
DATE DRAWN:	4/20/22
DRAWN BY:	S.T.
CHECKED BY:	V.K.
SCALE:	N.T.S.

A-11

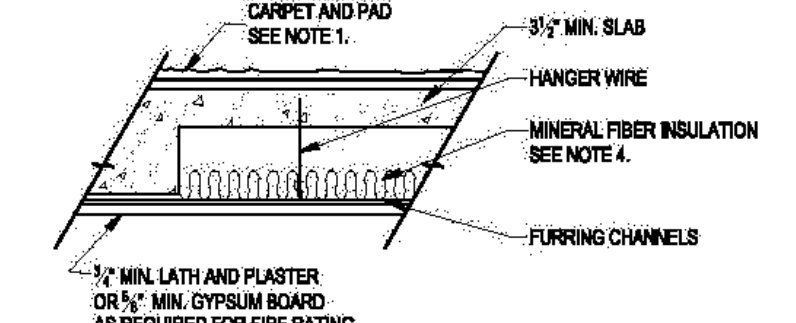


### 1. EXTERIOR WALL DETAIL (SLAB ON GRADE) (N.T.S.)

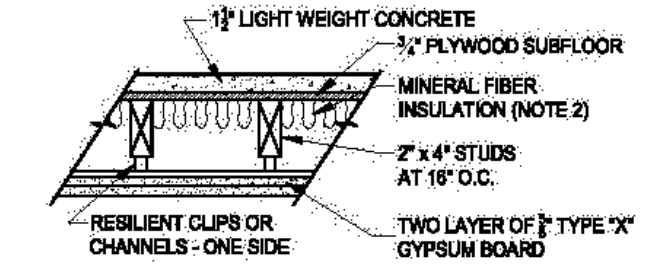
#### STANDARD SOUND RATED FLOOR - CEILING ASSEMBLIES STC 50 - IIC 50 FIRE RATING AS SHOWN



#### 4. CONCRETE SLAB - WITH CEILING (2 HR.)



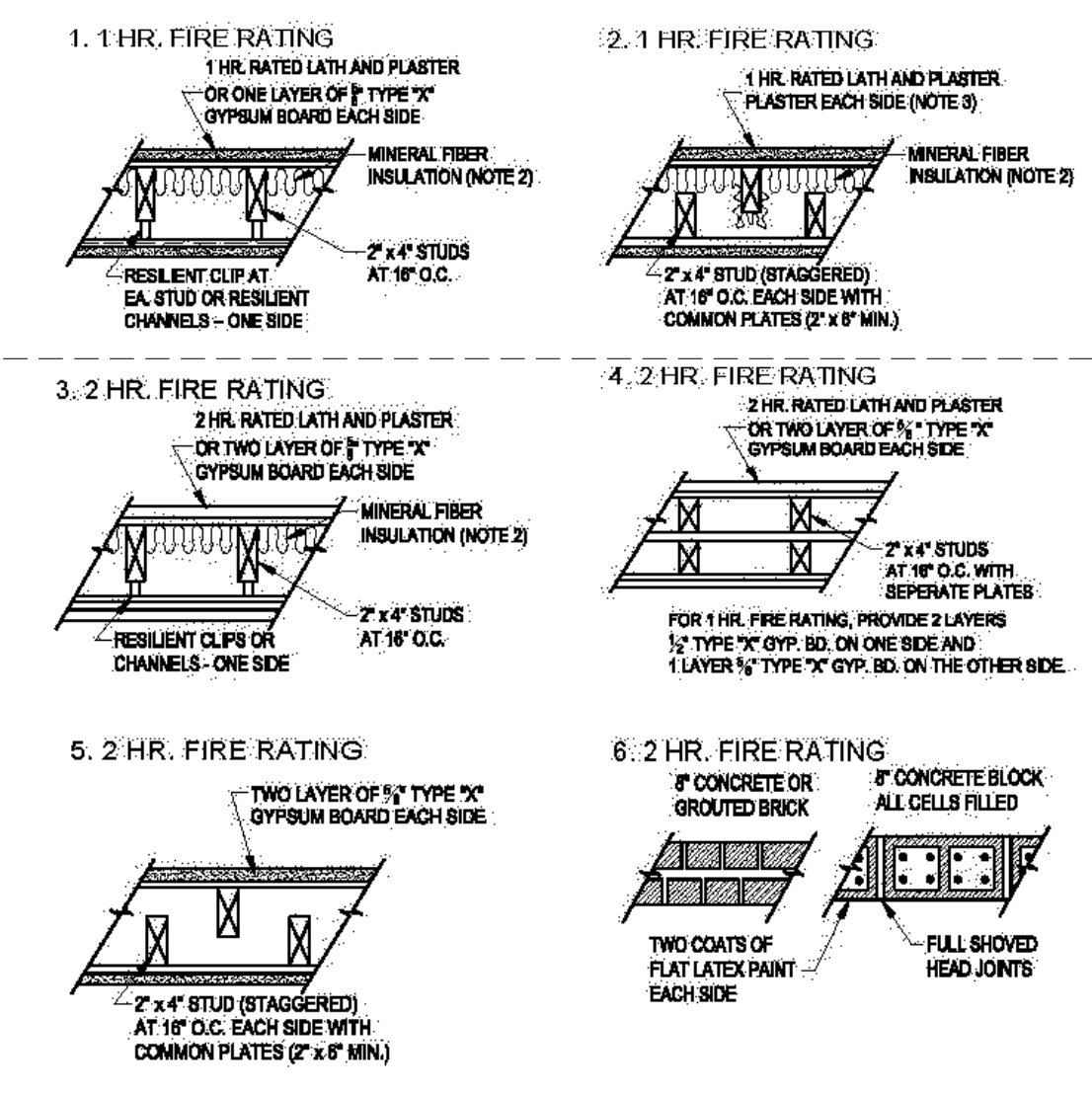
#### 5. LT. WT. CONC. FILL (2 HR.)



#### GENERAL NOTES:

1. 13 oz. face wt. carpet (31 oz. tot) and 40 oz. juted pad, or 48 oz. foam rubber, or 3/8\"/>
- 2. Type and spacing of resilient channels and the attachment of channels and gypsum board or lath shall be as required for fire ratings.
- 3. Sheet vinyl and linoleum floor coverings with 1/8\"/>
- 4. The mineral fiber insulation shall have a thermal resistance R value of 11 or greater as determined by Federal Specification HH-4-521E.

#### STANDARD SOUND RATED PARTITION ASSEMBLIES STC 50 - FIRE RATING AS SHOWN



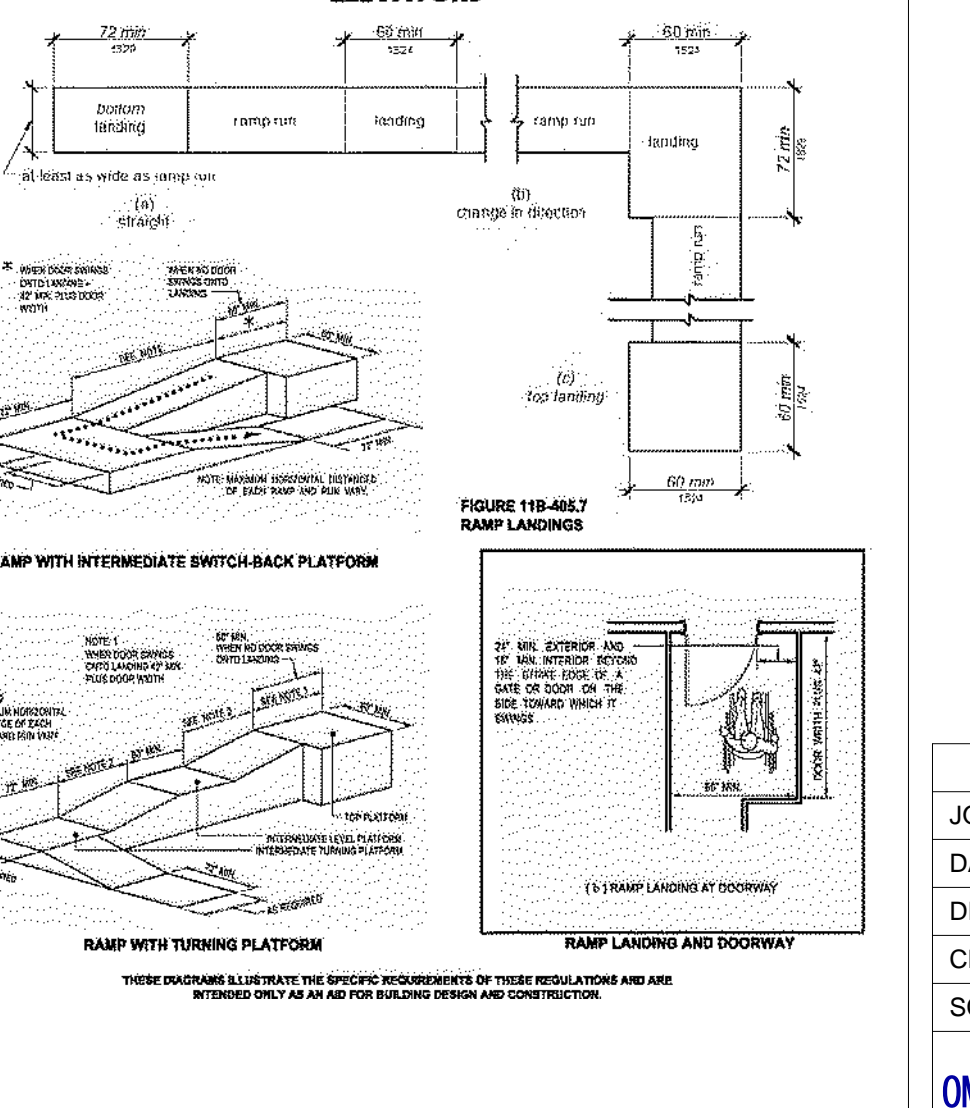
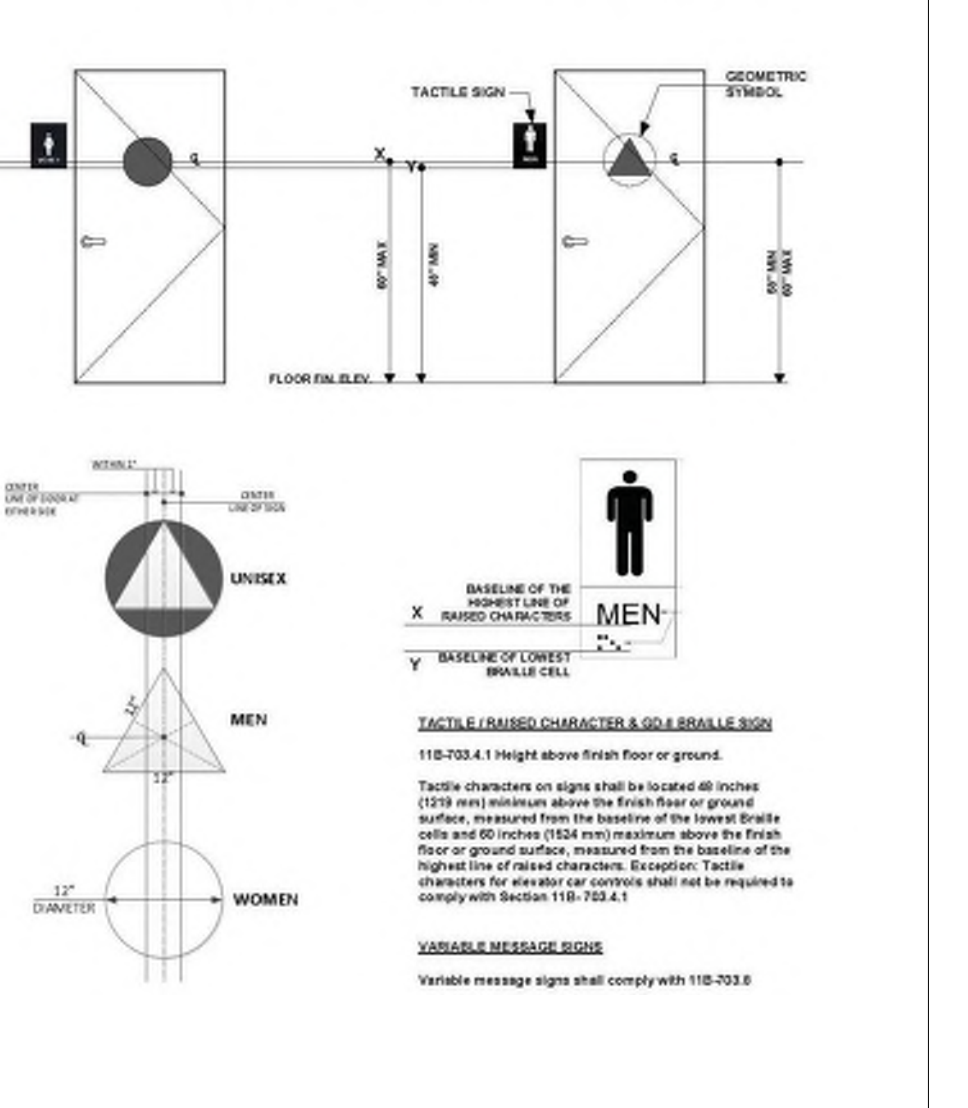
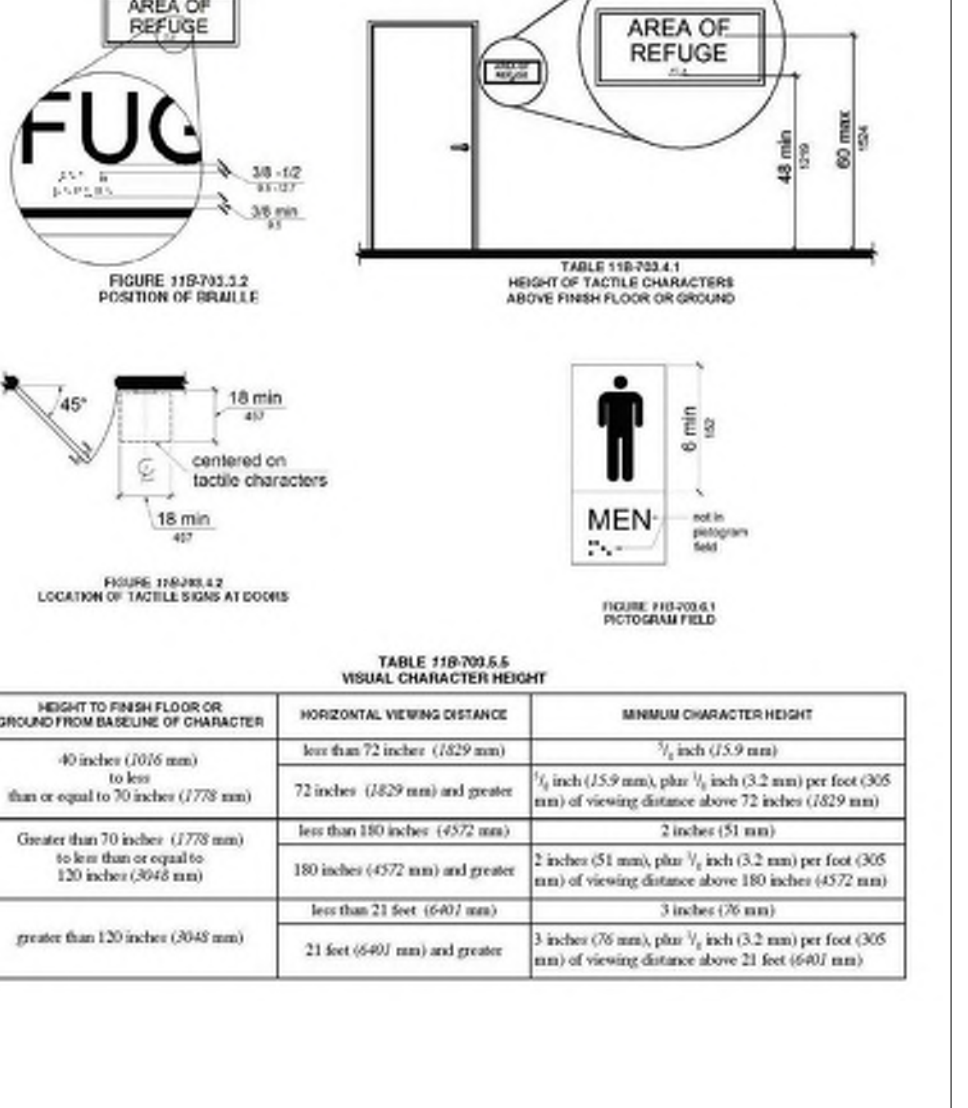
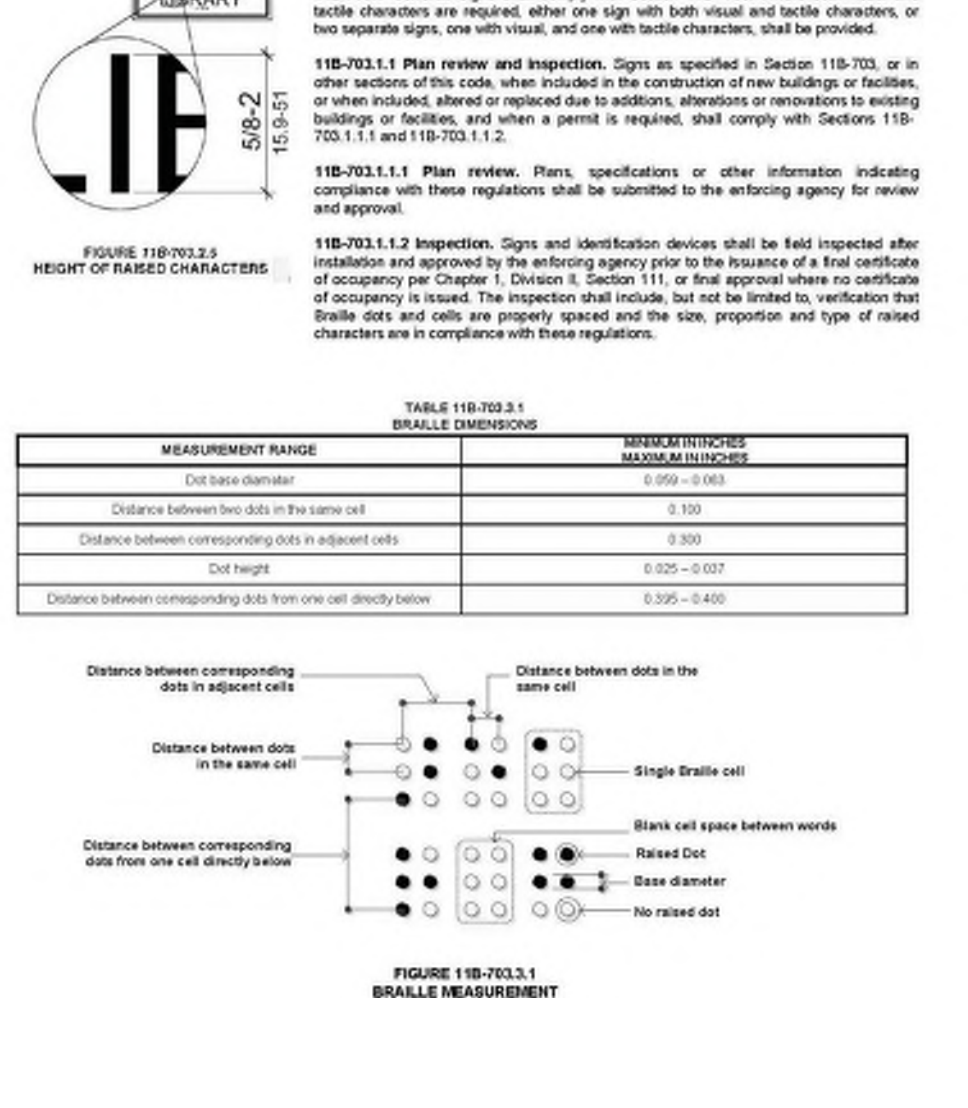
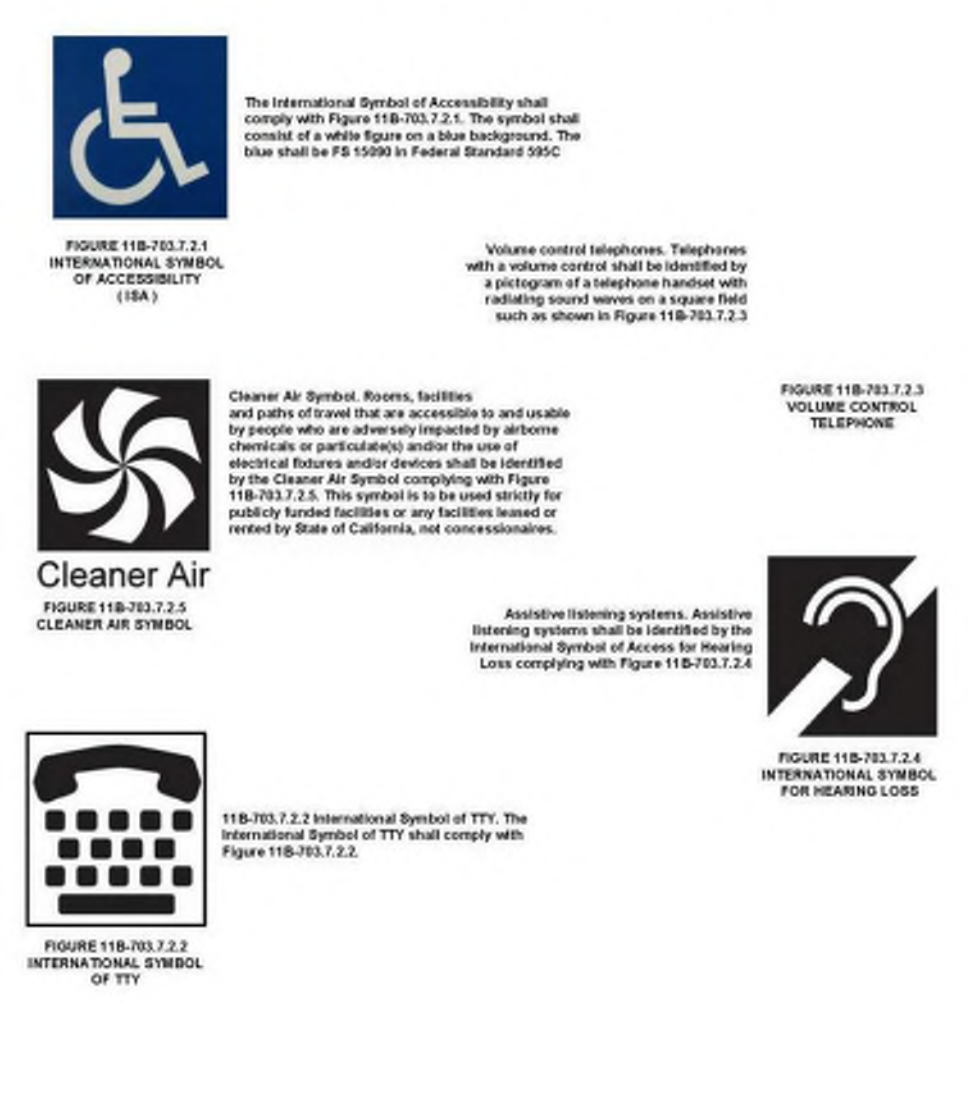
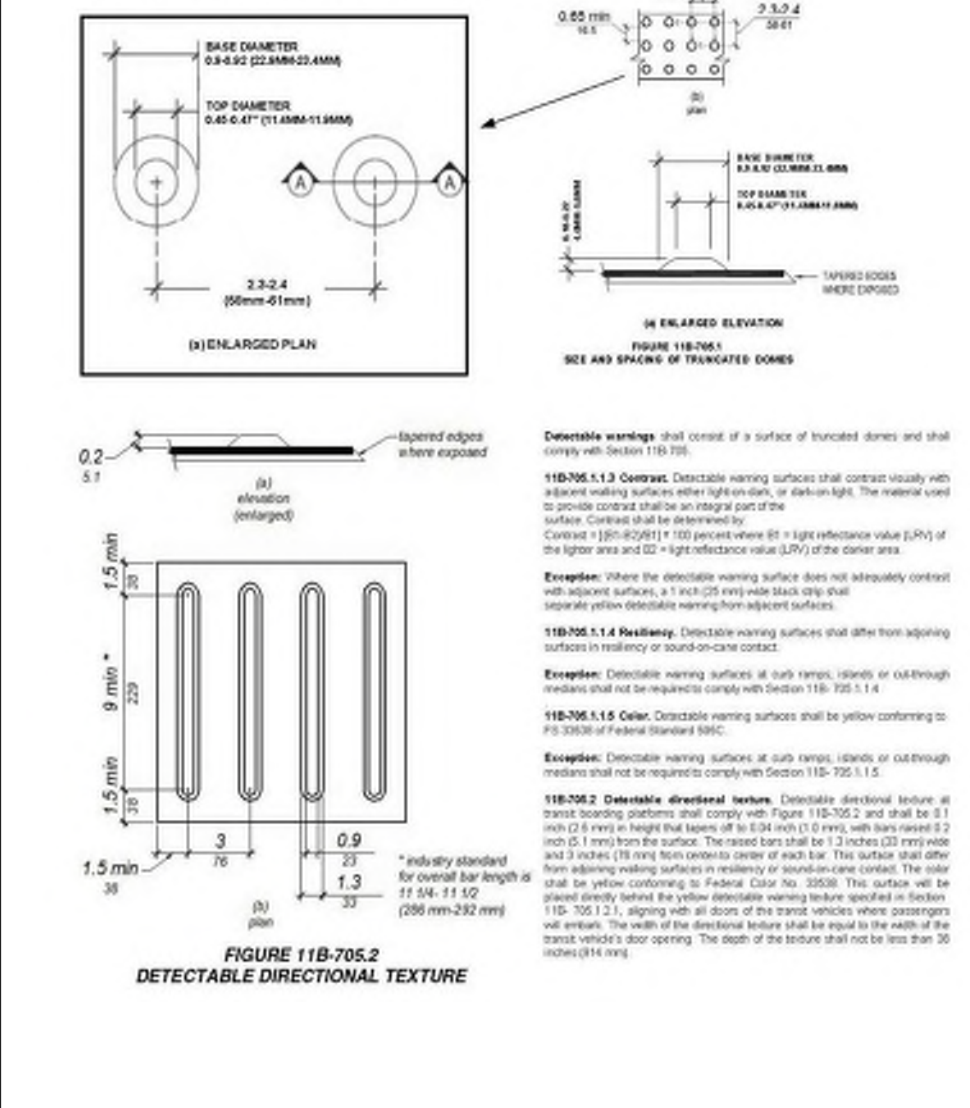
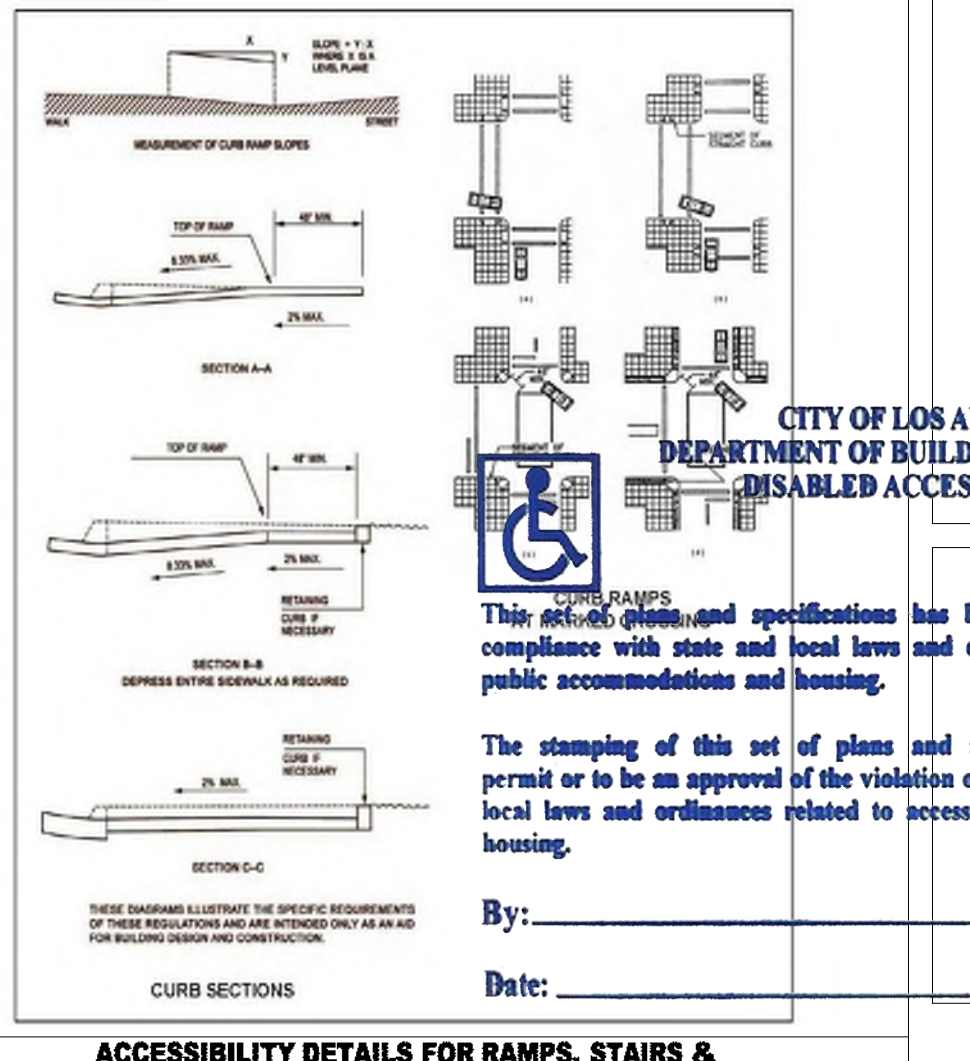
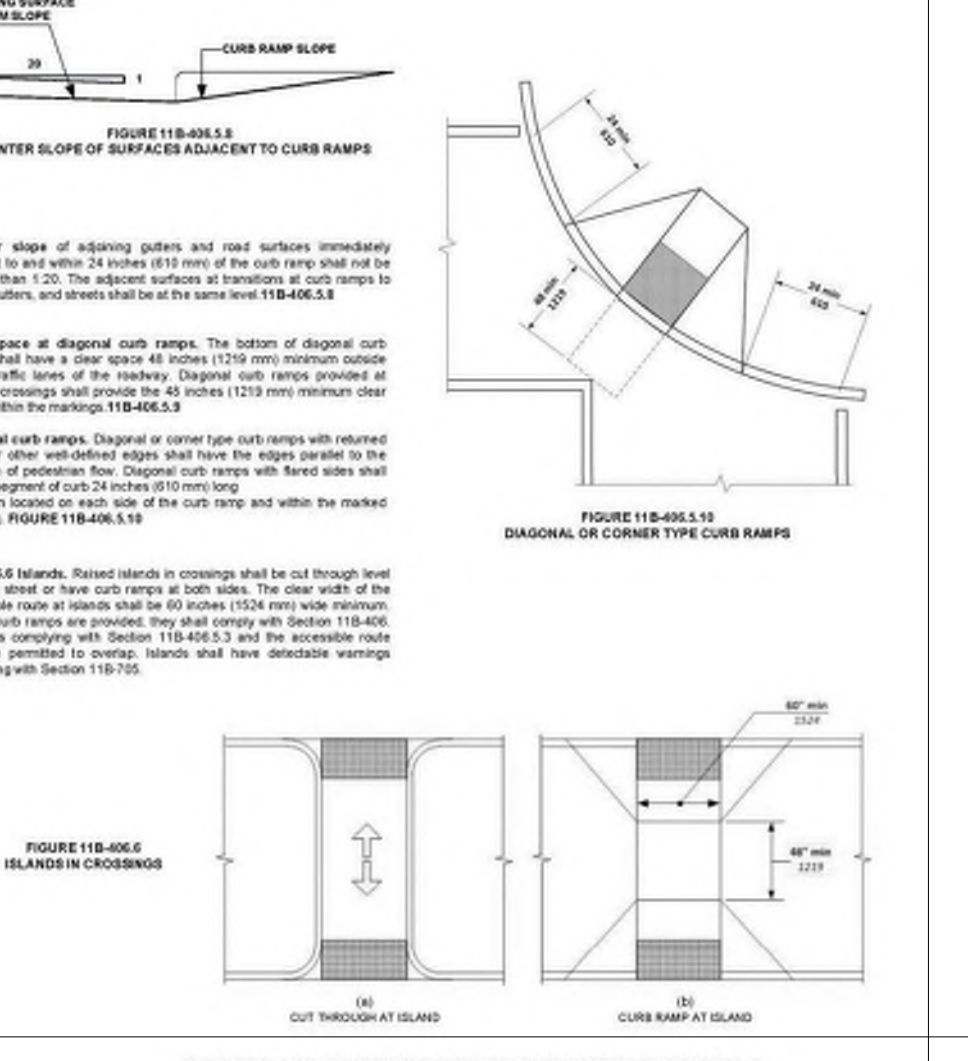
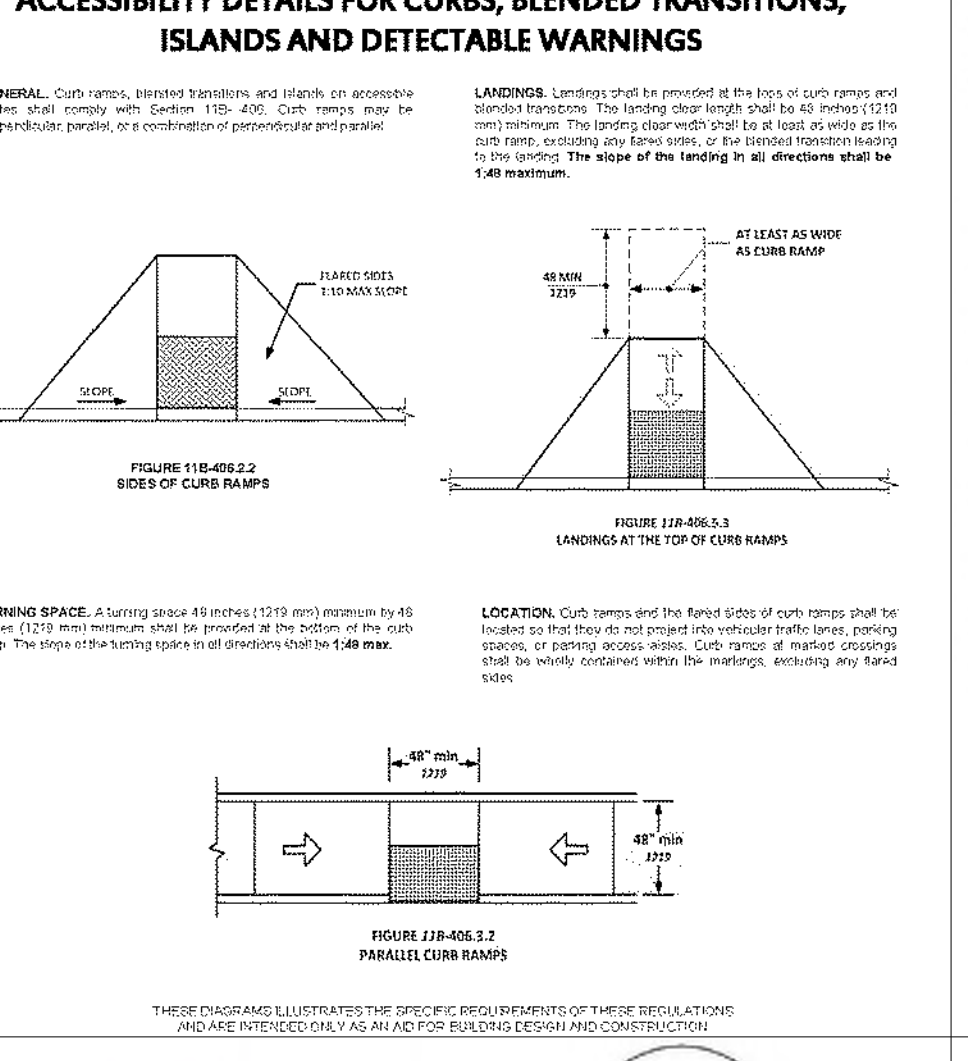
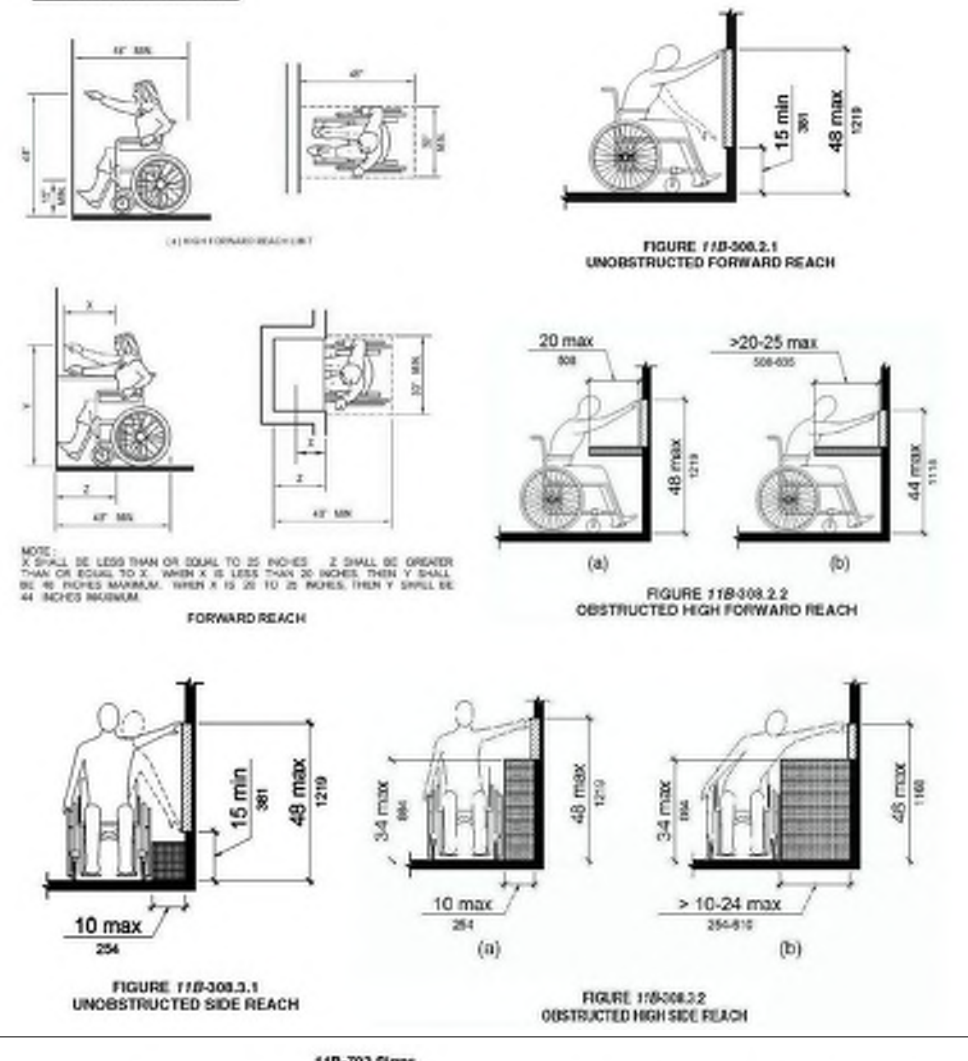
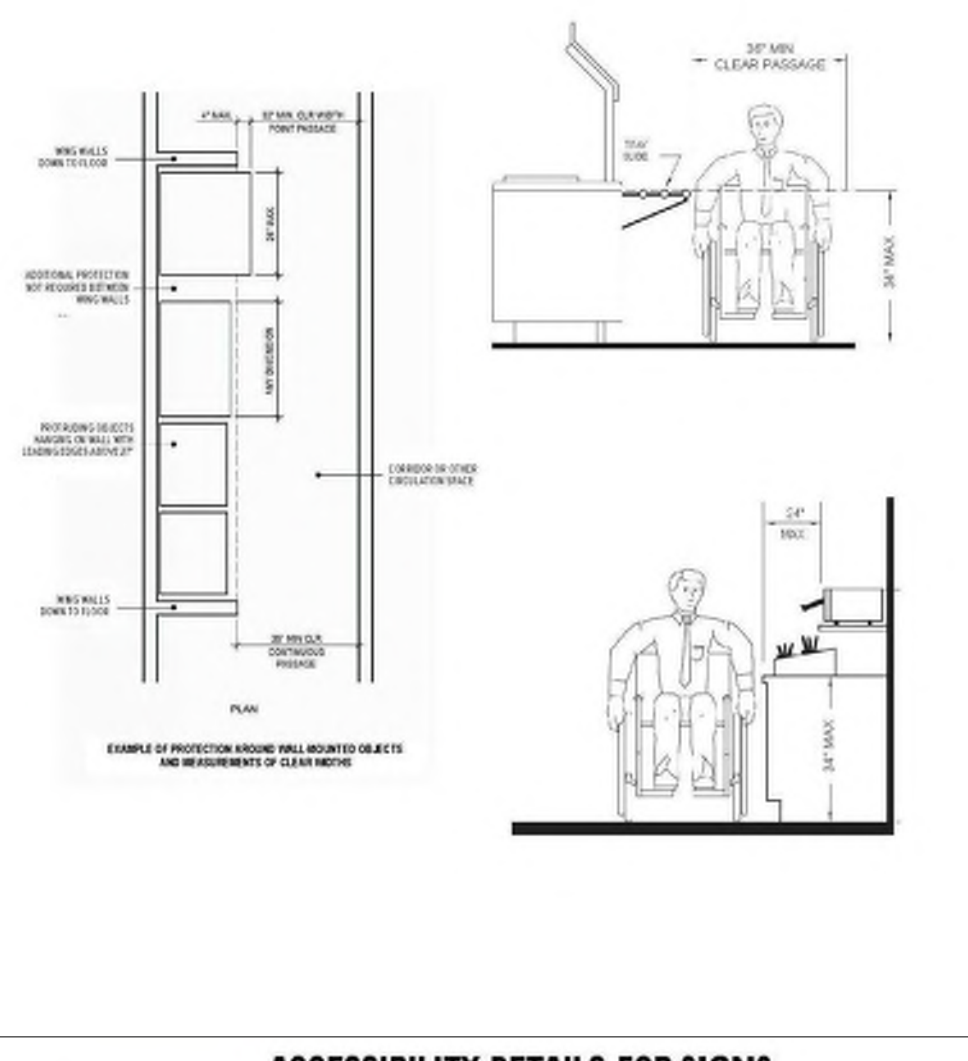
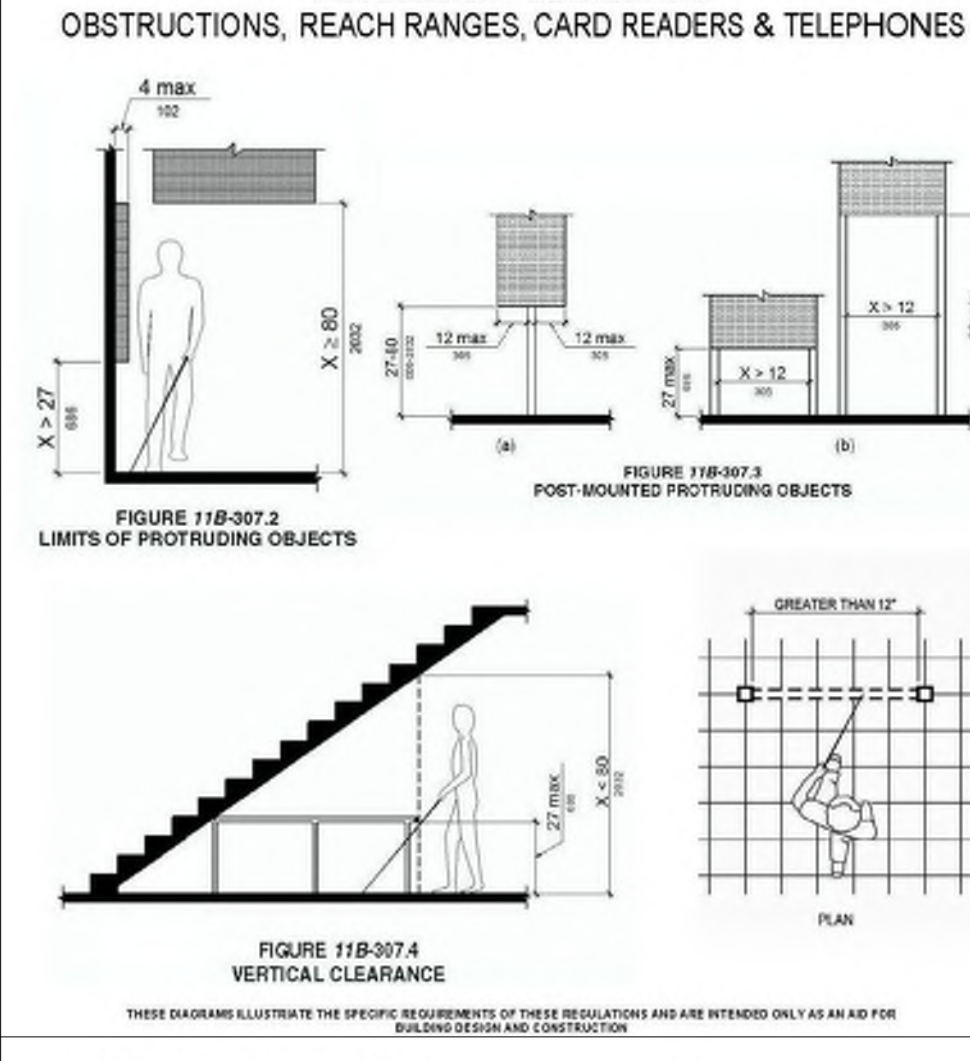
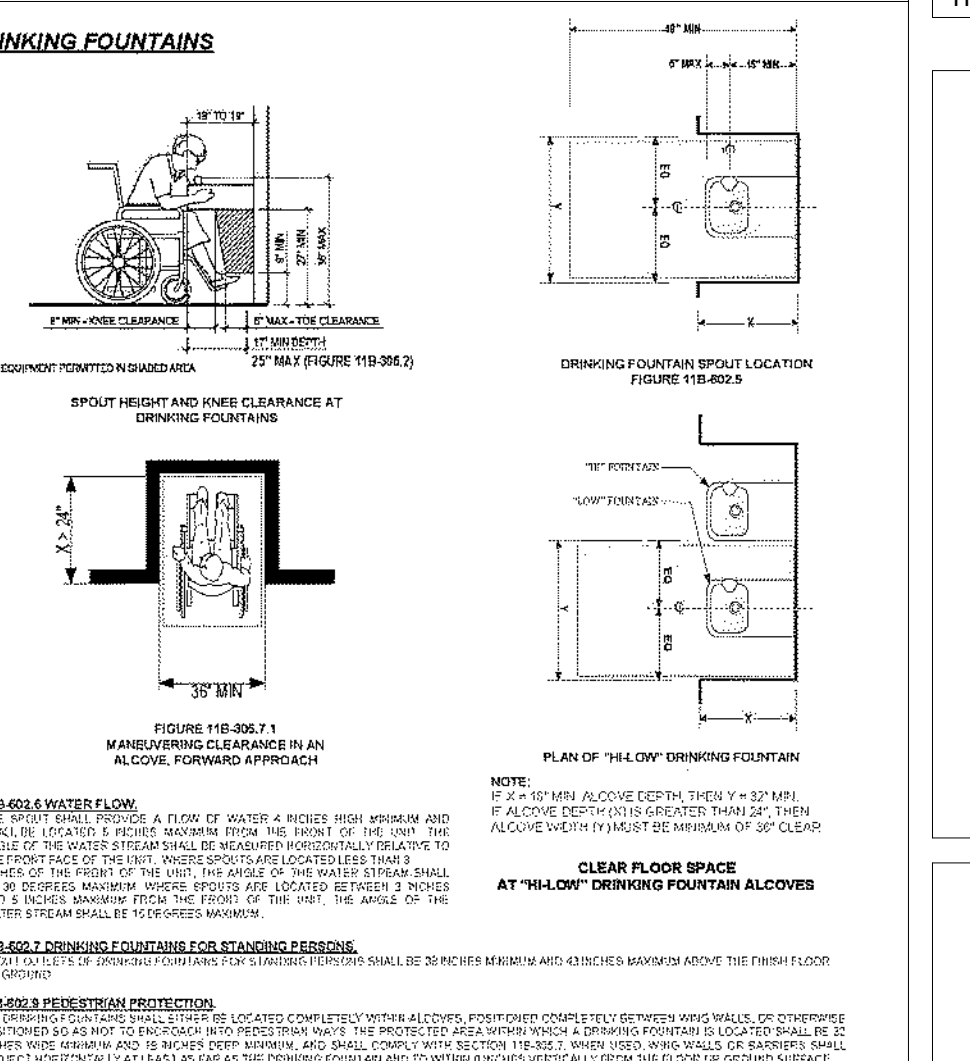
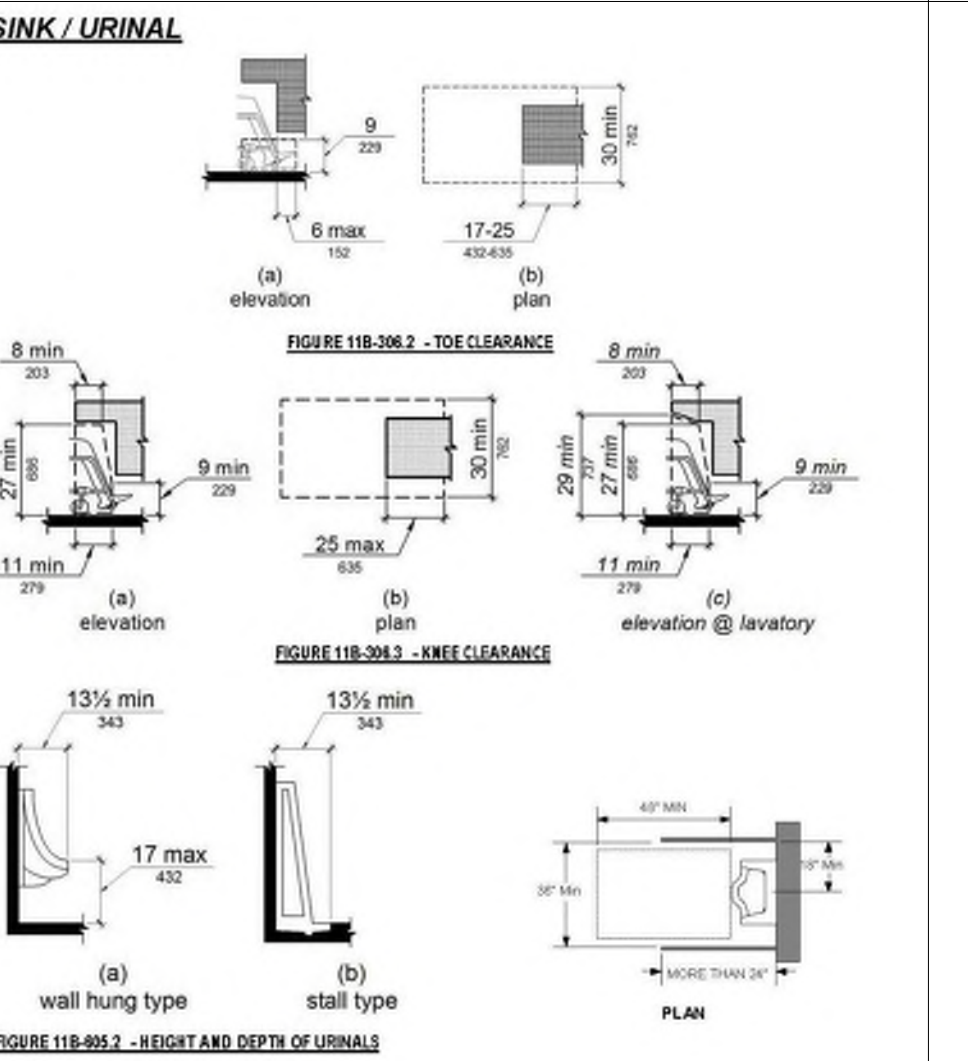
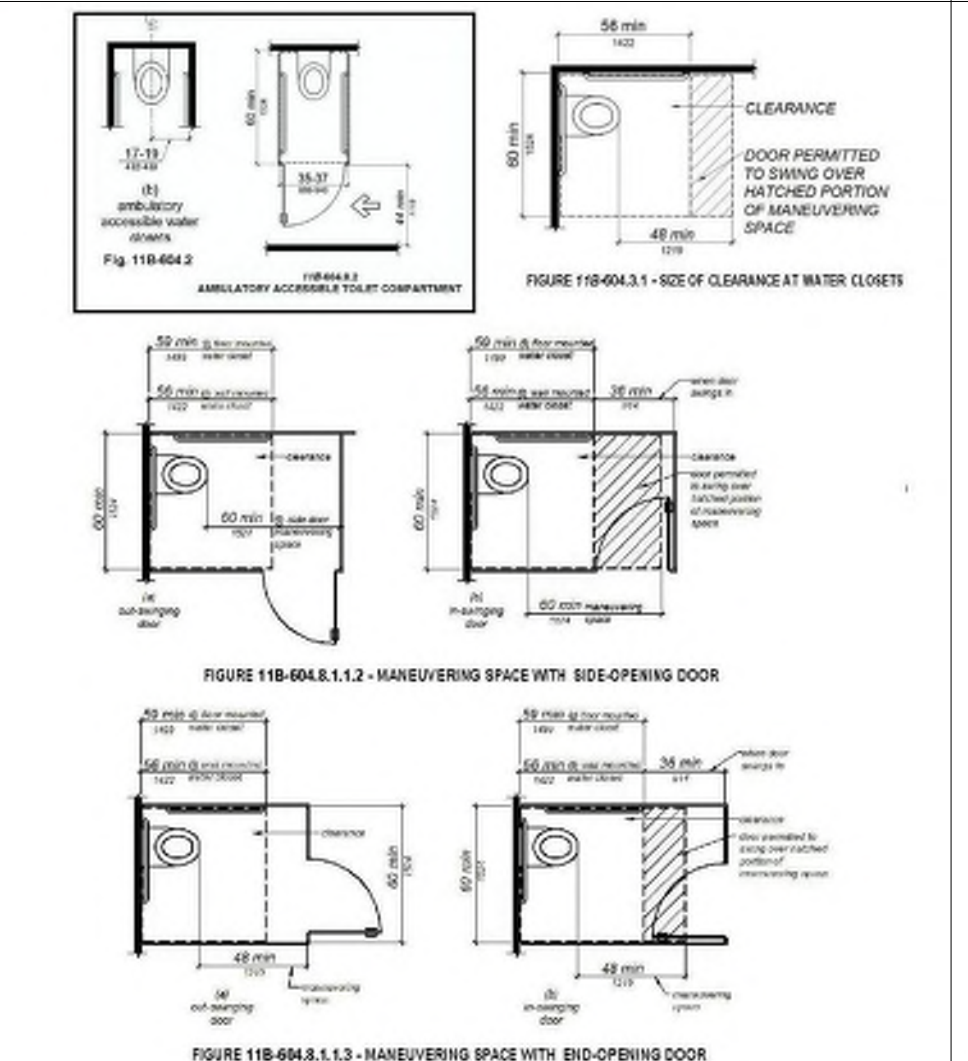
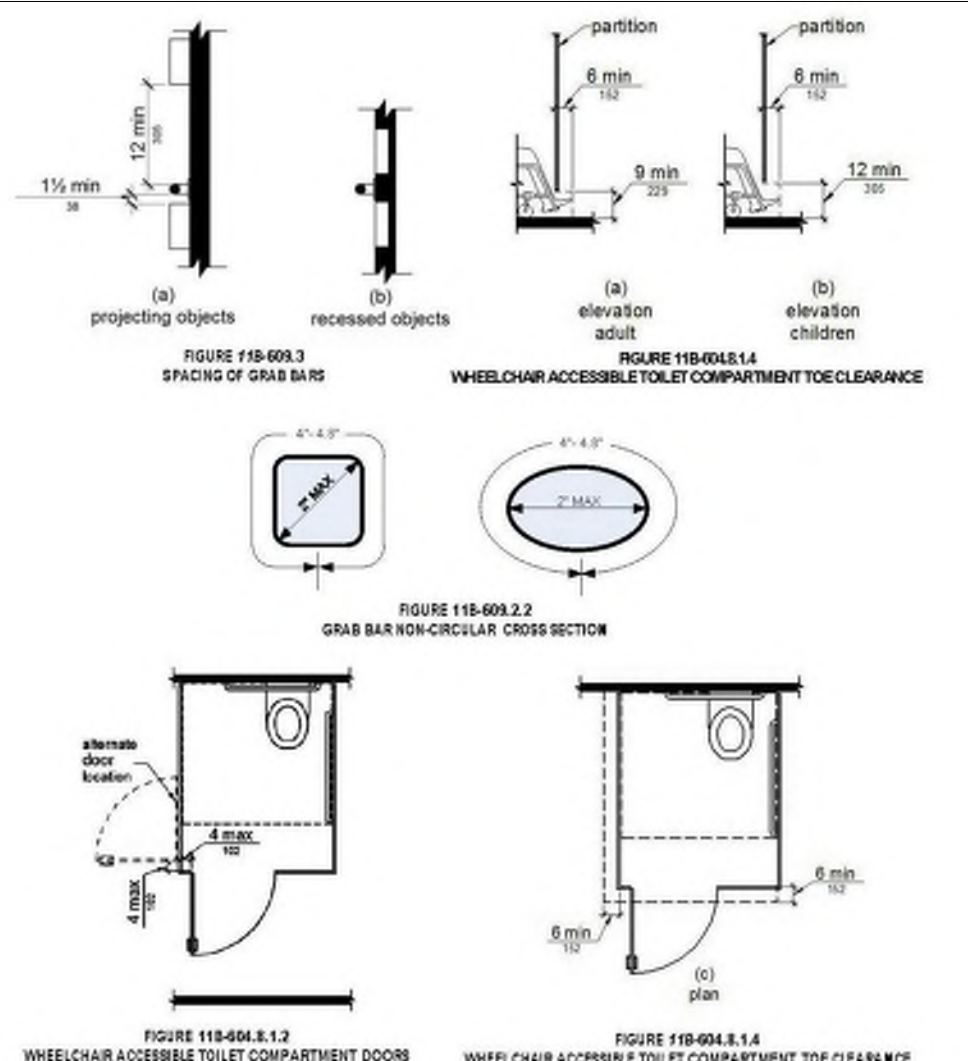
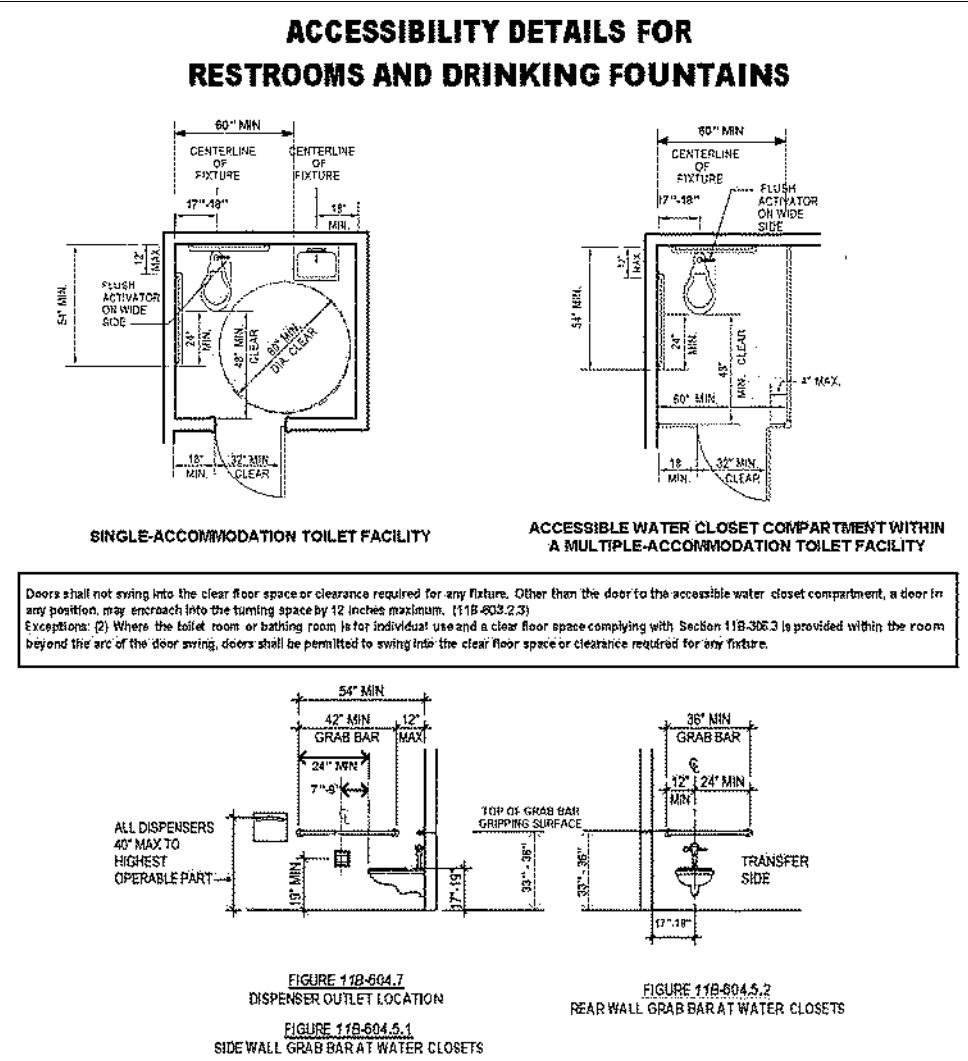
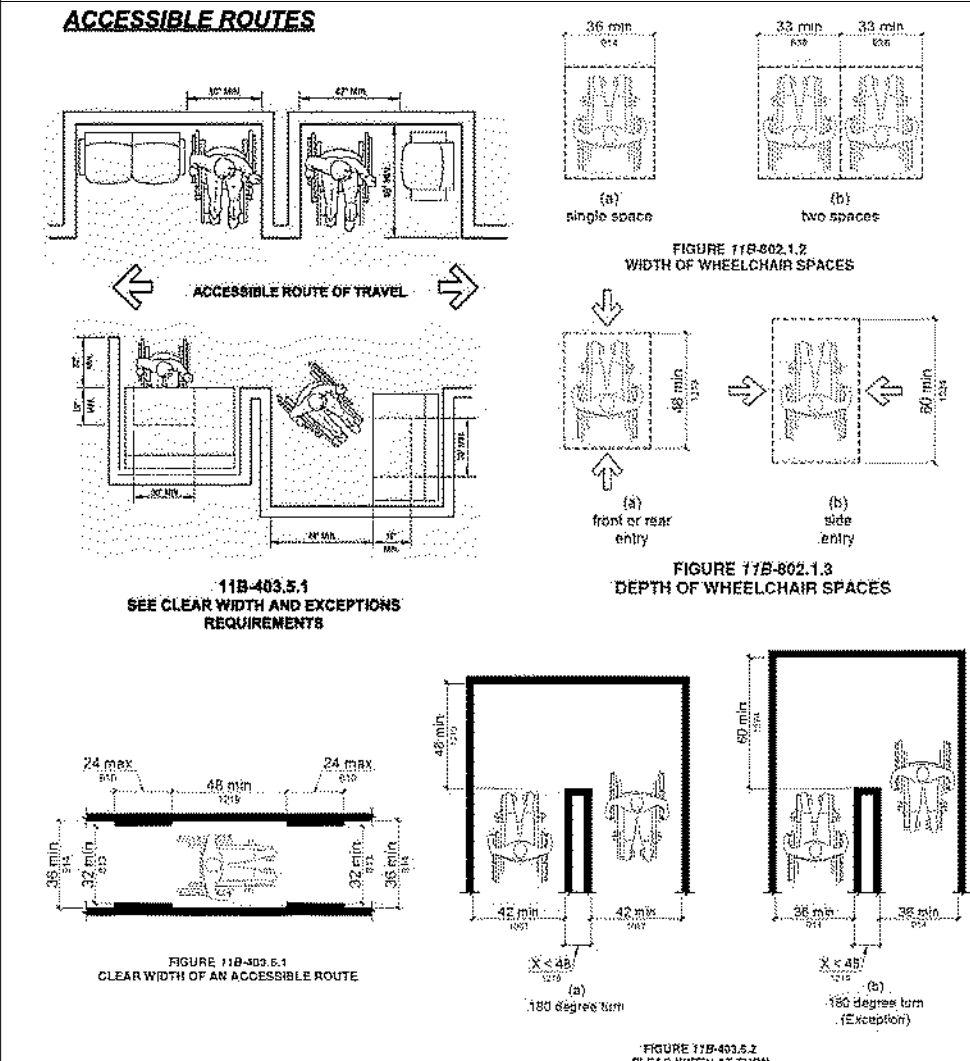
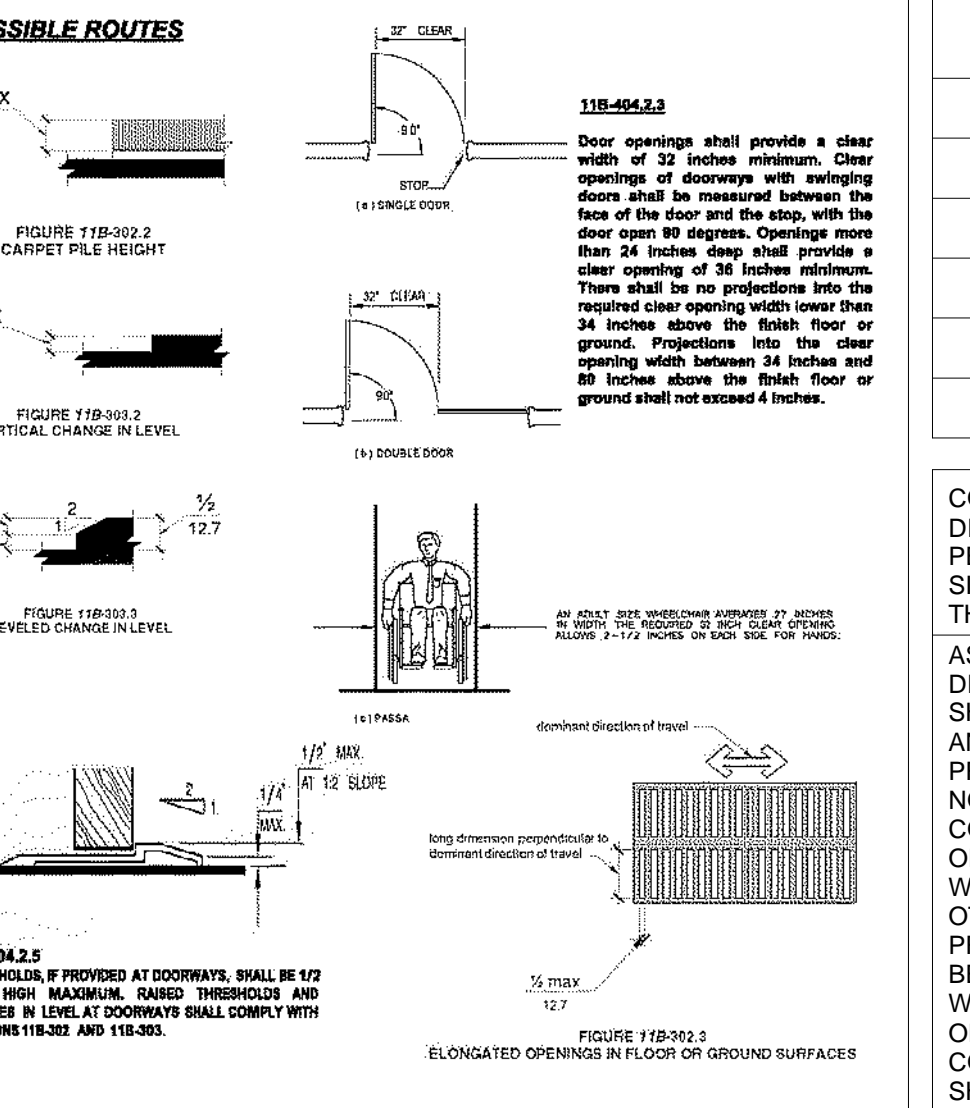
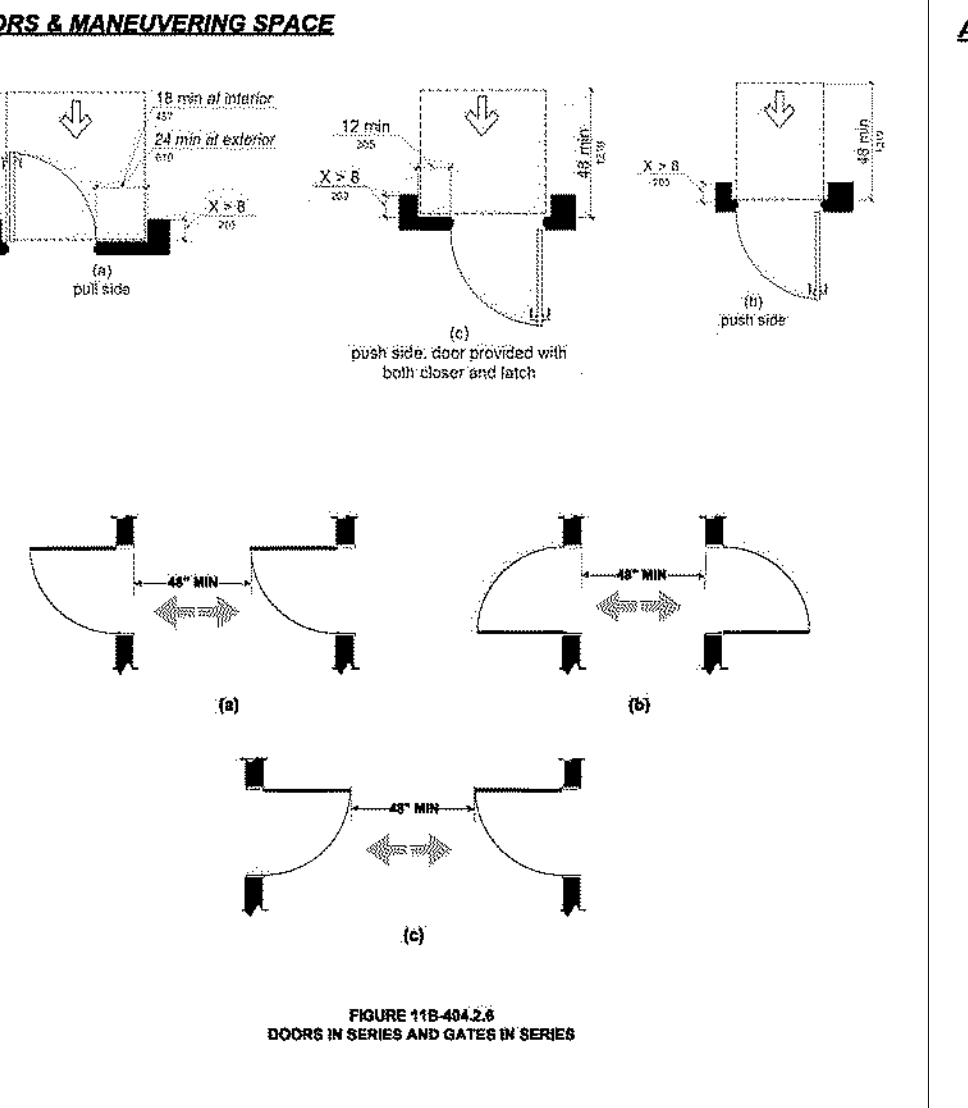
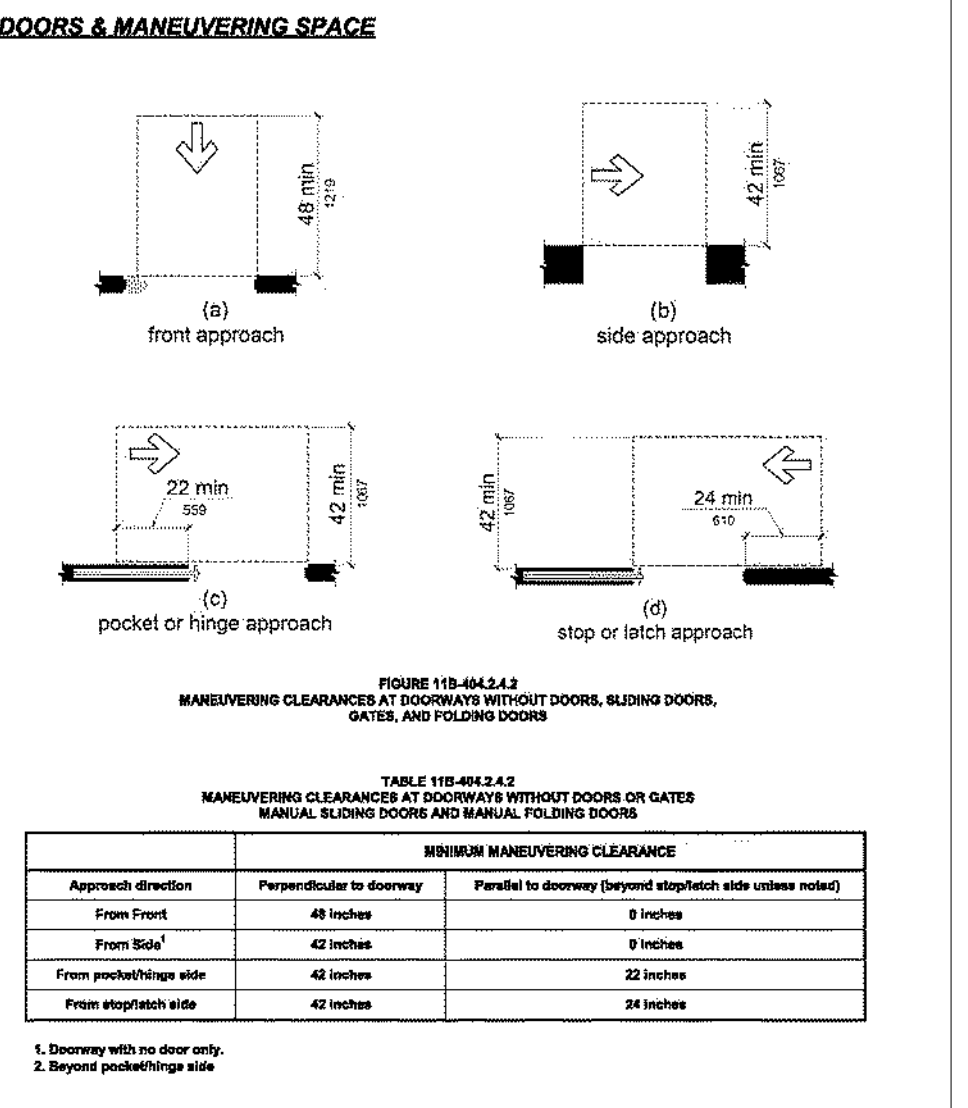
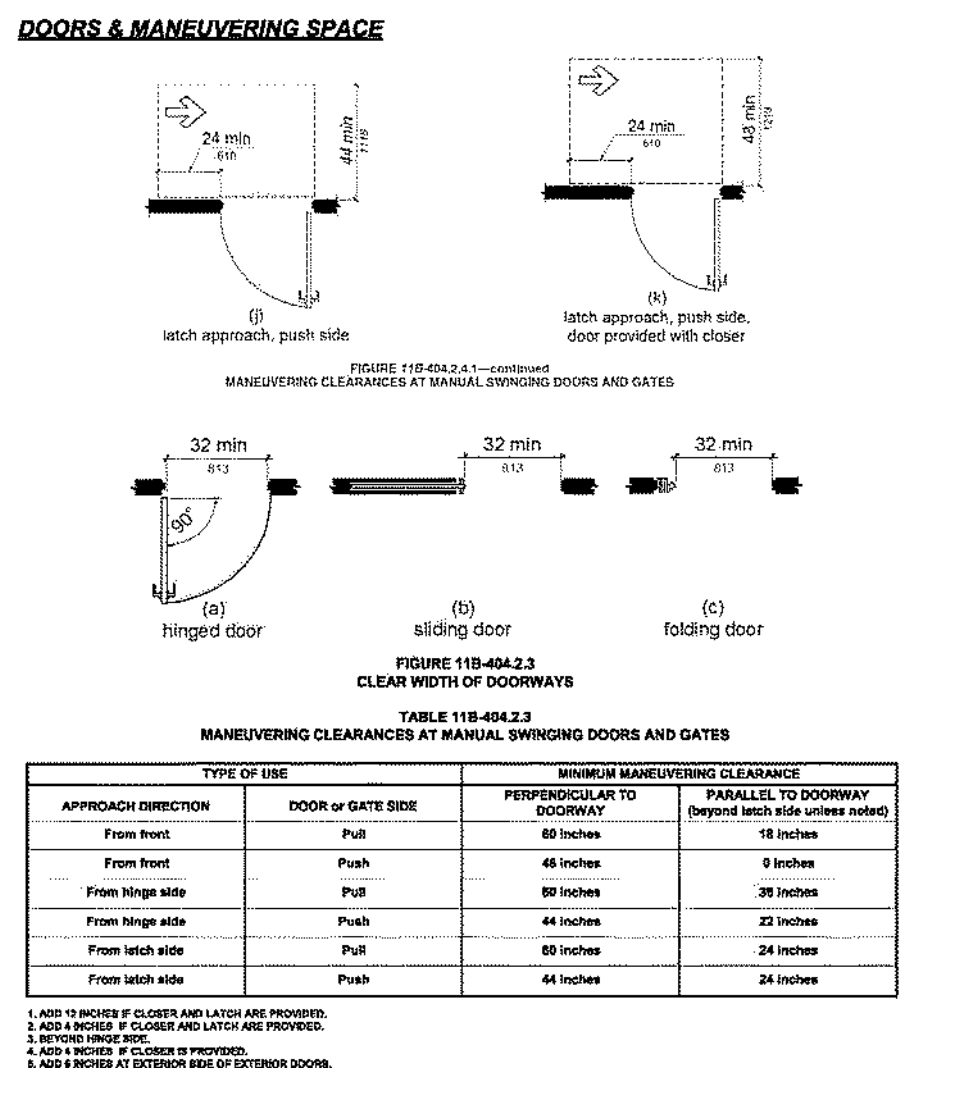
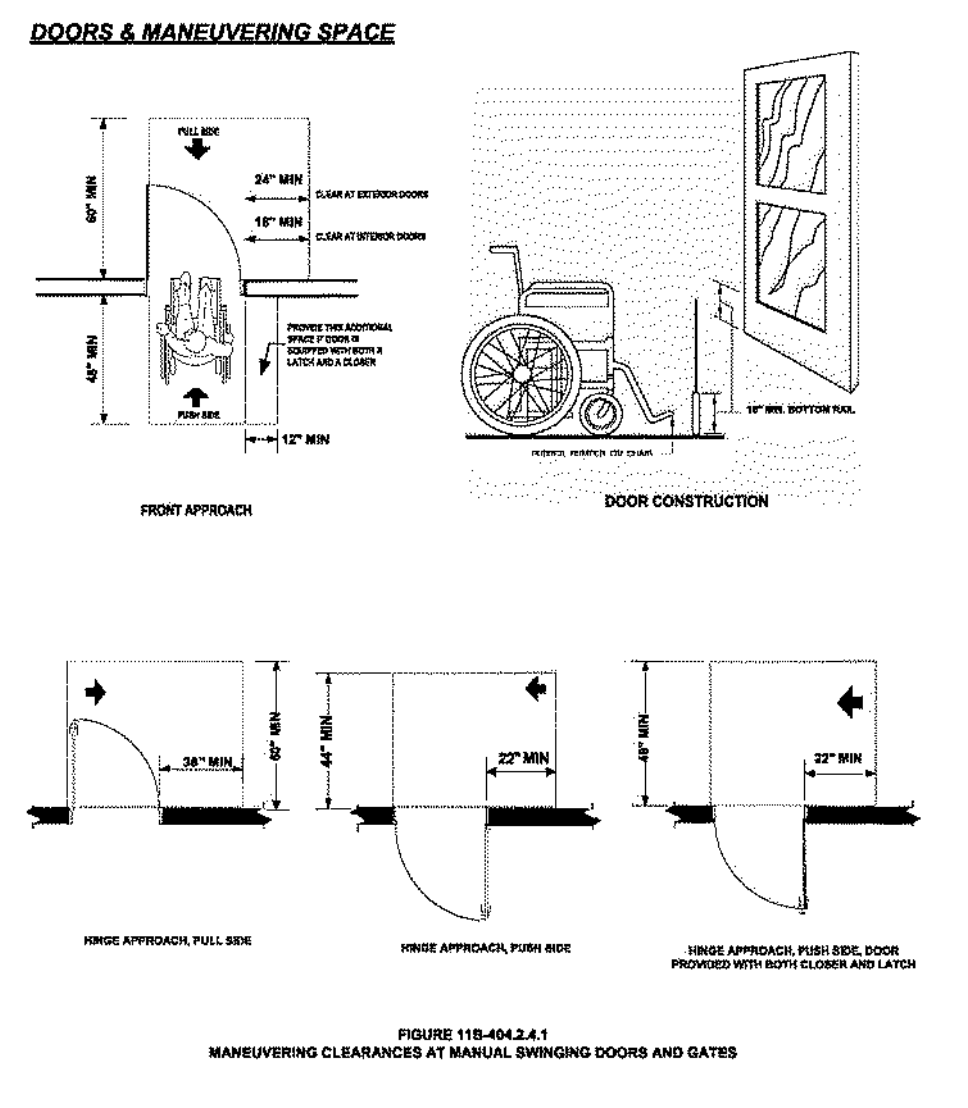
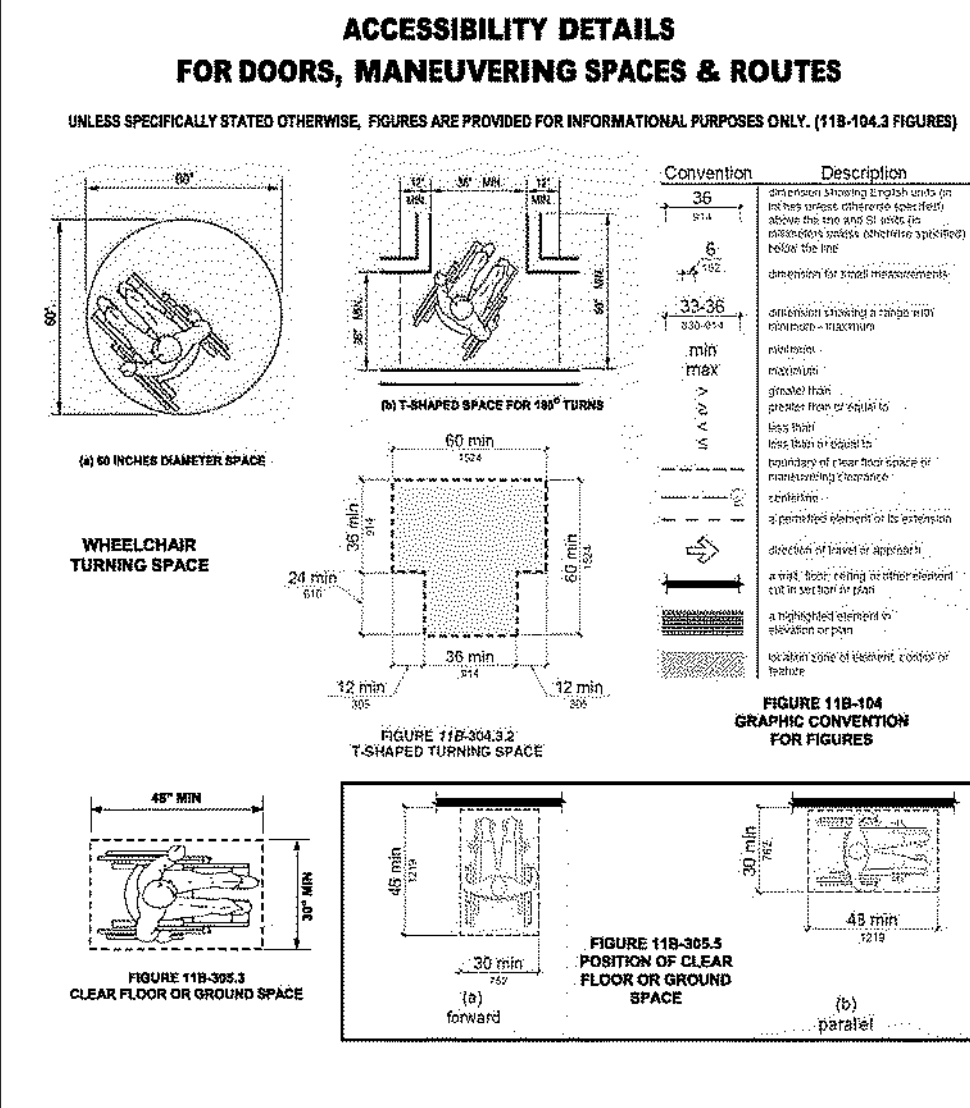
#### GENERAL NOTES:

1. The type and spacing of resilient channels and clips and the attachment of gypsum board or lath shall be as required for fire ratings.
2. The mineral fiber insulation shall have a thermal resistance R value of 11 or greater as determined by Federal Specification RFI-821E.
3. No test is on file to justify an STC-50 with one 5/8\"/>









REVISE DATES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.

AS INSTRUMENT OF SERVICE, ALL DESIGN IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF SEC DEVELOPMENT NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF SEC DEVELOPMENT. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

OWNER: SAM HABESYAN  
ADDRESS: 13702 VENTURA BLVD., SHERMAN OAKS, CA 91423

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
DISABLED ACCESS SECTION

This set of drawings and specifications has been reviewed and is approved for compliance with state and local laws and ordinances related to accessibility to public accommodations and housing.

The stamping of this set of plans and specifications shall not be held to permit or be an approval of the violation of any provisions of federal, state, and local laws and ordinances related to accessibility to public accommodations and housing.

By: \_\_\_\_\_ Total of \_\_\_\_\_ Sheets

Date: \_\_\_\_\_

PROJECT INFO

JOB NUMBER: 21041

DATE DRAWN: 4/20/22

DRAWN BY: S.T.

CHECKED BY: V.K.

SCALE: N.T.S.

PROJECT INFO

DATE DRAWN: 4/20/22

DRAWN BY: S.T.

CHECKED BY: V.K.

SCALE: N.T.S.



GENERAL NOTES FOR COMMERCIAL ACCESSIBILITY

NOTE: Code references are to the 2020 edition of the Los Angeles Building Code

The State of California delegates authority to the local jurisdiction to ensure compliance with Title 24, Part 2 of the California Code of Regulations. The following general notes indicate specific areas of Title 24, Part 2 which are applicable to your project. Please be aware that the owner(s) of the building and higher consultants are responsible for compliance with the most current Federal Regulations contained in the Americans with Disabilities Act (ADA) and Fair Housing Act (FHA). Where the ADA & FHA requirements exceed those contained in Title 24, Part 2, it is the responsibility of the owners and their consultants to ensure compliance with the most current ADA & FHA regulations, as the City is not authorized to review plans or inspect projects for ADA & FHA compliance.

The following, applicable, general notes shall be provided on the plans.

A. APPLICATION AND ADMINISTRATION

1. Public accommodations shall maintain in operable working condition those features of facilities and equipment that are required to be accessible to and useable by persons with disabilities. Isolated or temporary interruptions in service or accessibility due to maintenance or repairs shall be permitted. §11B-108

B. BUILDING BLOCKS

FLOOR OR GROUND SURFACES

1. Floor and ground surfaces shall be stable, firm, and slip resistant. §11B-302.1
2. Carpet or carpet tile shall be securely attached and shall have a firm cushion, pad, or backing or no cushion or pad. Carpet or carpet tile shall have a level loop, textured loop, level cut pile, or level cut/unloop pile texture. Pile height shall be 1/2 inch maximum. §11B-302.2, Figure 11B-302.2

CHANGES IN LEVEL

3. Vertical changes in level for floor or ground surfaces may be 1/4 inch high maximum and without edge treatment. Changes in level greater than 1/4 inch and not exceeding 1/2 inch in height shall be beveled with a slope not steeper than 1:2. §11B-303, Figures 11B-303.2 & 11B-303.3
4. Changes in level greater than 1/2 inch in height shall be ramped and shall comply with the requirements of 11B-405 Ramps or 11B-406 Curb Ramps as applicable. §11B-303
5. Abrupt changes in level exceeding 4 inches in a vertical dimension between walks, sidewalks or other pedestrian ways and adjacent surfaces or features shall be identified by warning curbs at least 6 inches in height above the walk or sidewalk surface or by guards or handrails with a guide rail centered 2 inches minimum and 4 inches maximum above the surface of the walk or sidewalk. These requirements do not apply between a walk or sidewalk and an adjacent street or driveway. §11B-303.5

TURNING SPACE

6. Circular turning spaces shall be a space of 60 inches diameter minimum and may include knee and toe clearance complying with 11B-306 Knee and Toe Clearance. §11B-304.3.1
7. T-Shaped turning spaces shall be a T-shaped space within a 60 inch square minimum with arms and base 36 inches wide minimum. Each arm of the T shall be clear of obstructions 12 inches minimum in each direction and the base shall be clear of obstructions 24 inches minimum. §11B-304.3.2, Figure 11B-304.3.2

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. Page 1 of 10

KNEE AND TOE CLEARANCE

8. For lavatories and built-in dining and work surfaces required to be accessible, toe clearance shall be provided that is 30 inches in width and 9 inches in height above the finish floor or ground for a depth of 19 inches minimum. §11B-306.2.1
9. Toe clearance shall extend 19 inches maximum under lavatories for toilet and bathing facilities and 25 inches maximum under other elements. §11B-306.2.2
10. At lavatories in toilet and bathing facilities, knee clearance shall be provided that is 30 inches in width for a depth of 11 inches at 9 inches above the finish floor or ground and for a depth of 8 inches at 27 inches above the finish floor or ground increasing to 29 inches high minimum above the finish floor or ground at the front edge of a counter with a built-in lavatory or at the front edge of a wall-mounted lavatory fixture. §11B-306.3.3, Figure 11B-306.3(c)
11. At dining and work surfaces required to be accessible, knee clearance shall be provided that is 30 inches in width at 27 inches above the finish floor or ground for a depth of at least 19 inches. §11B-306.3

PROTRUDING OBJECTS

12. Except for handrails, objects with leading edges more than 27 inches and less than 80 inches above the finish floor or ground shall protrude no more than 4 inches horizontally into the circulation path. Handrails may protrude 4 1/2 inches maximum. §11B-307.2, Figure 11B-307.2
13. Freestanding objects mounted on posts or pylons shall overhang circulation paths no more than 12 inches when located from 27 to 80 inches above the finish floor or ground. §11B-307.3(a)
14. Protruding objects shall not reduce the clear width required for accessible routes. §11B-307.5
15. Lowest edge of a sign or other obstruction, when mounted between posts or pylons separated with a clear distance greater than 12 inches, shall be less than 27 inches or more than 80 inches above the finish floor or ground. §11B-307.3(b)

VERTICAL CLEARANCE

16. Vertical clearance shall be at least 80 inches high on circulation paths except at door closers and door stops, which may be 78 inches minimum above the finish floor or ground. §11B-307.4
17. Guardsrails or other barriers with a leading edge located 27 inches maximum above the finish floor or ground shall be provided where the vertical clearance on circulation paths is less than 80 inches high. §11B-307.4, Figure 11B-307.4
18. Where a guy support is used within either the width of a circulation path or 24 inches maximum outside of a circulation path, a vertical guy brace, sidewalk guy, or similar device shall be used to prevent a hazard or an overhead obstruction. §11B-307.4.1, Figure 11B-307.4.1

REACH RANGES

19. Electrical controls and switches intended to be used by the occupant of a room or area to control lighting and receptacle outlets, appliances or cooling, heating and ventilating equipment shall be located within allowable reach ranges. Low reach shall be measured to the bottom of the outlet box and high reach shall be measured to the top of the outlet box. §11B-308.1.1
20. Electrical receptacle outlets on branch circuits of 30 amperes or less and communication system receptacles shall be located within allowable reach ranges. Low reach shall be measured to the bottom of the outlet box and high reach shall be measured to the top of the outlet box. §11B-308.1.2
21. High forward reach that is unobstructed shall be 48 inches maximum and the low forward reach shall be 15 inches minimum above the finish floor or ground. §11B-308.2.1, Figure 11B-308.2.1
22. High forward reach shall be 48 inches maximum where the reach depth is 20 inches or less and 44 inches maximum where the reach depth exceeds 20 inches. High forward reach shall not exceed 25 inches in depth. §11B-308.2.2, Figure 11B-308.2.2
23. High side reach shall be 48 inches maximum and the low side reach shall be 15 inches minimum above the finish floor where the side reach is unobstructed or the depth of any obstruction does not exceed 10 inches. §11B-308.3.1, Figure 11B-308.3.1

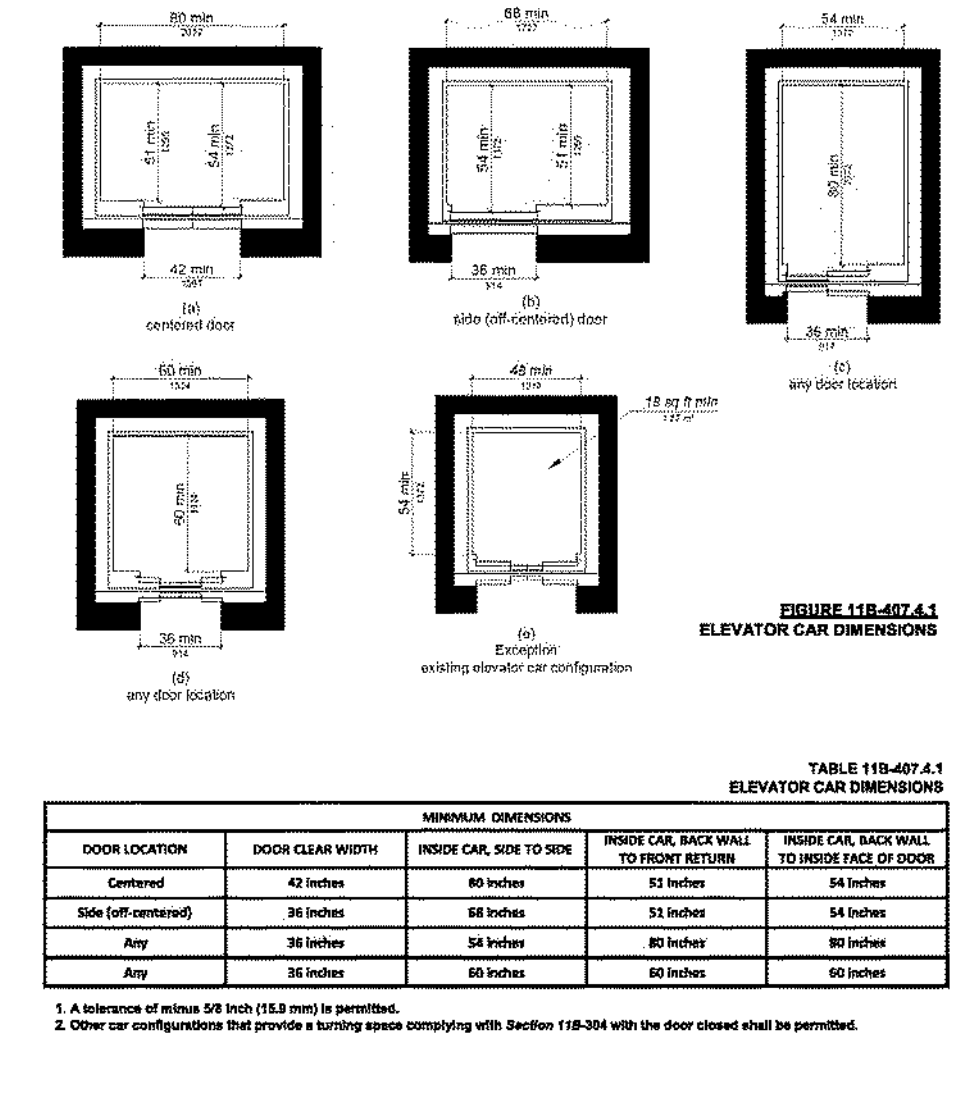
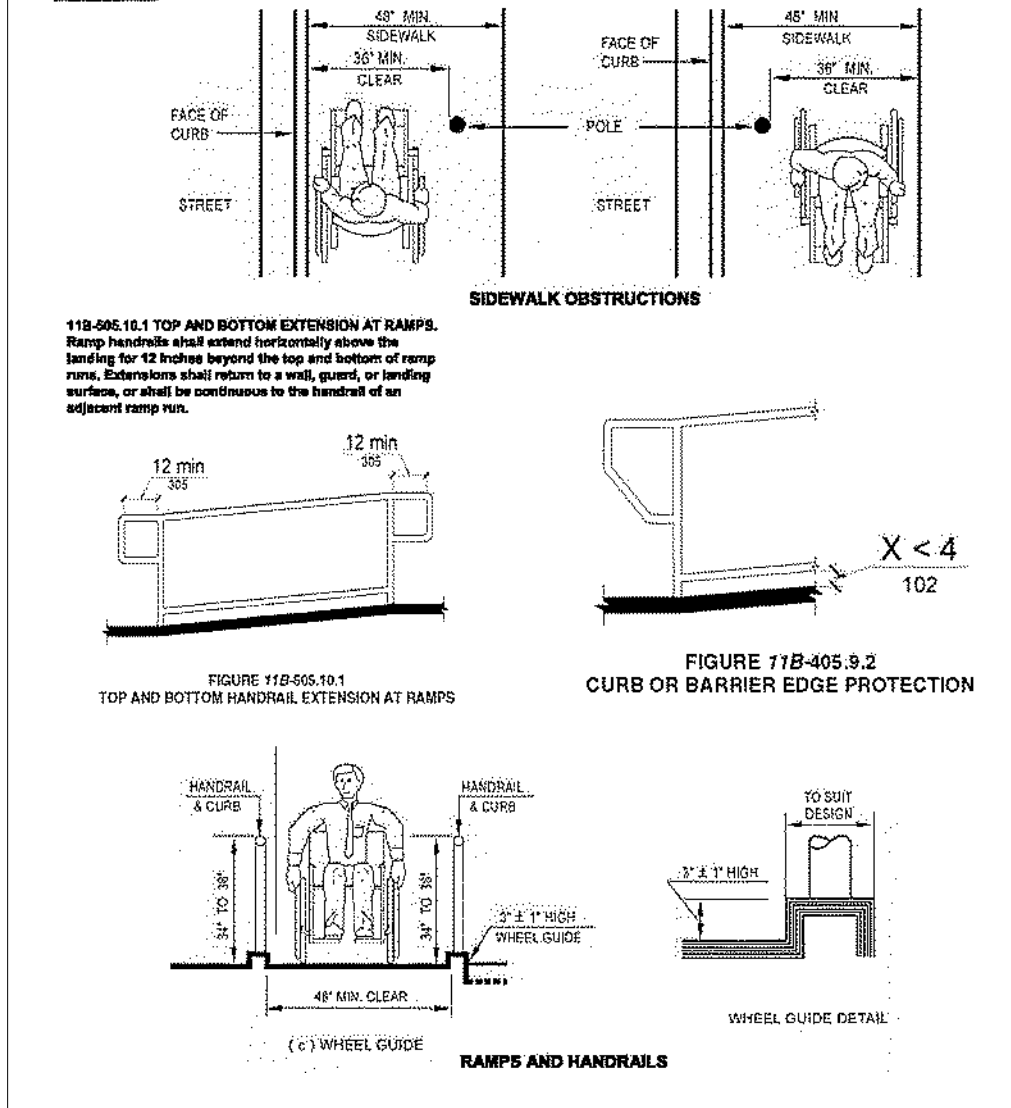
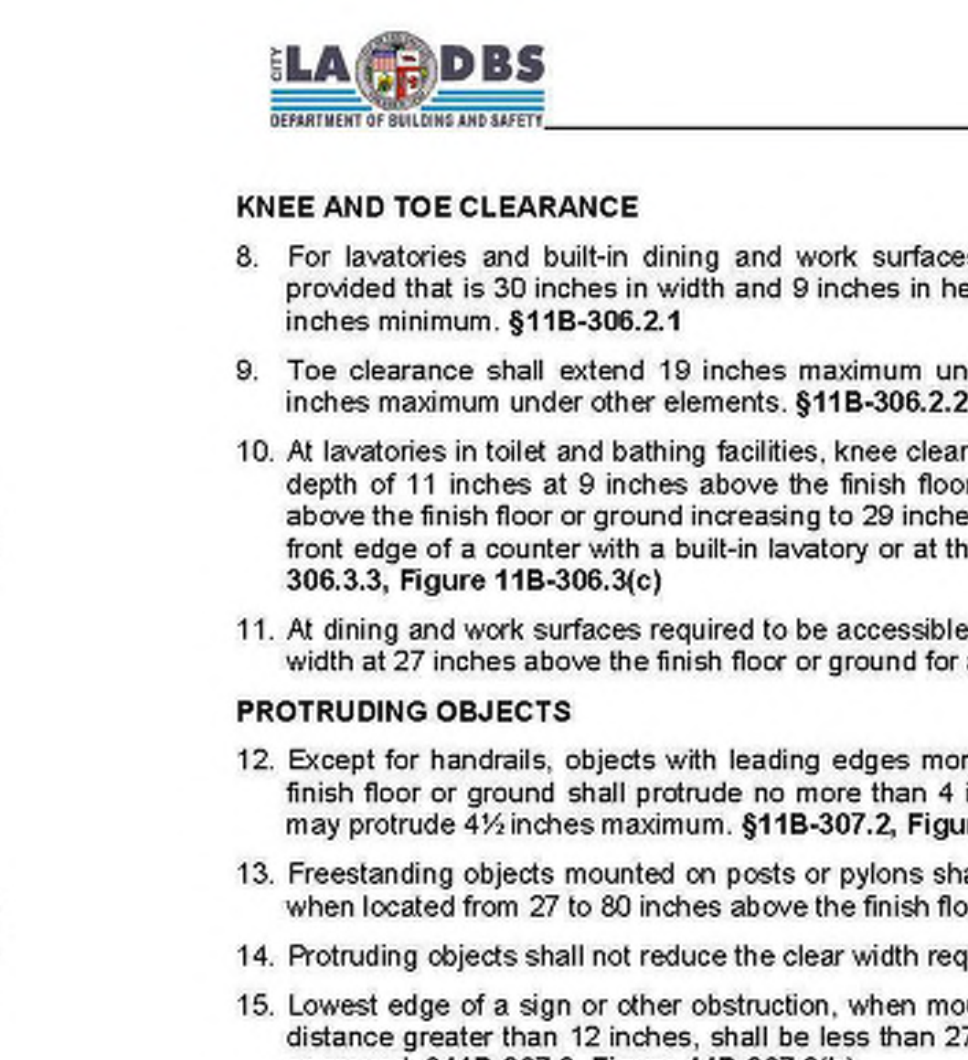
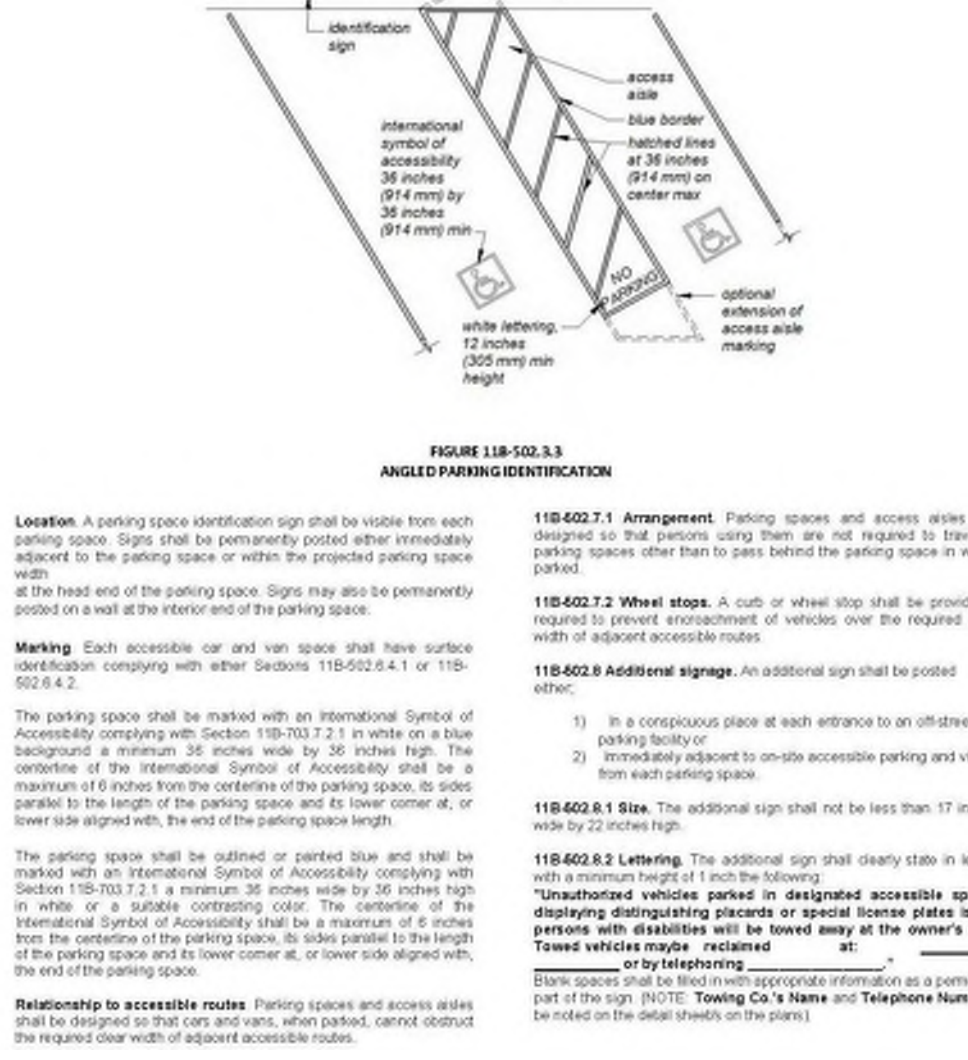
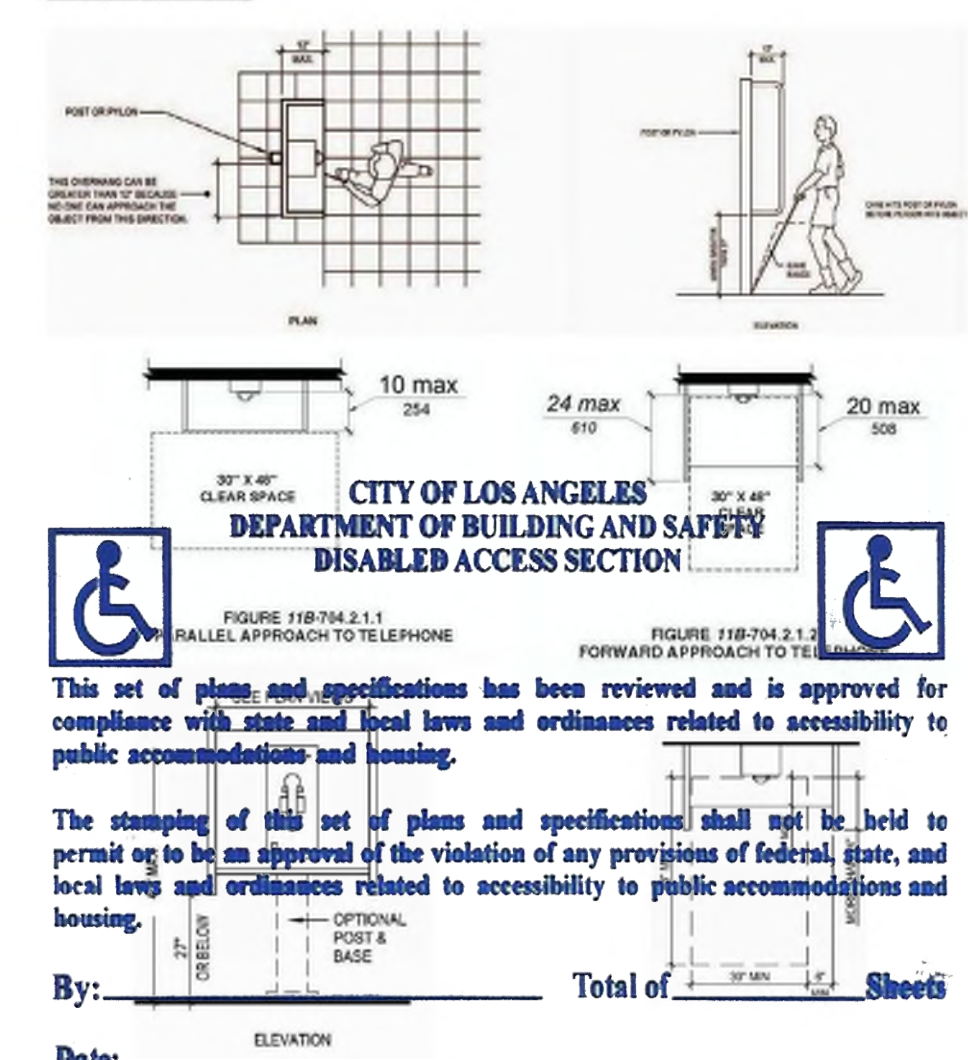
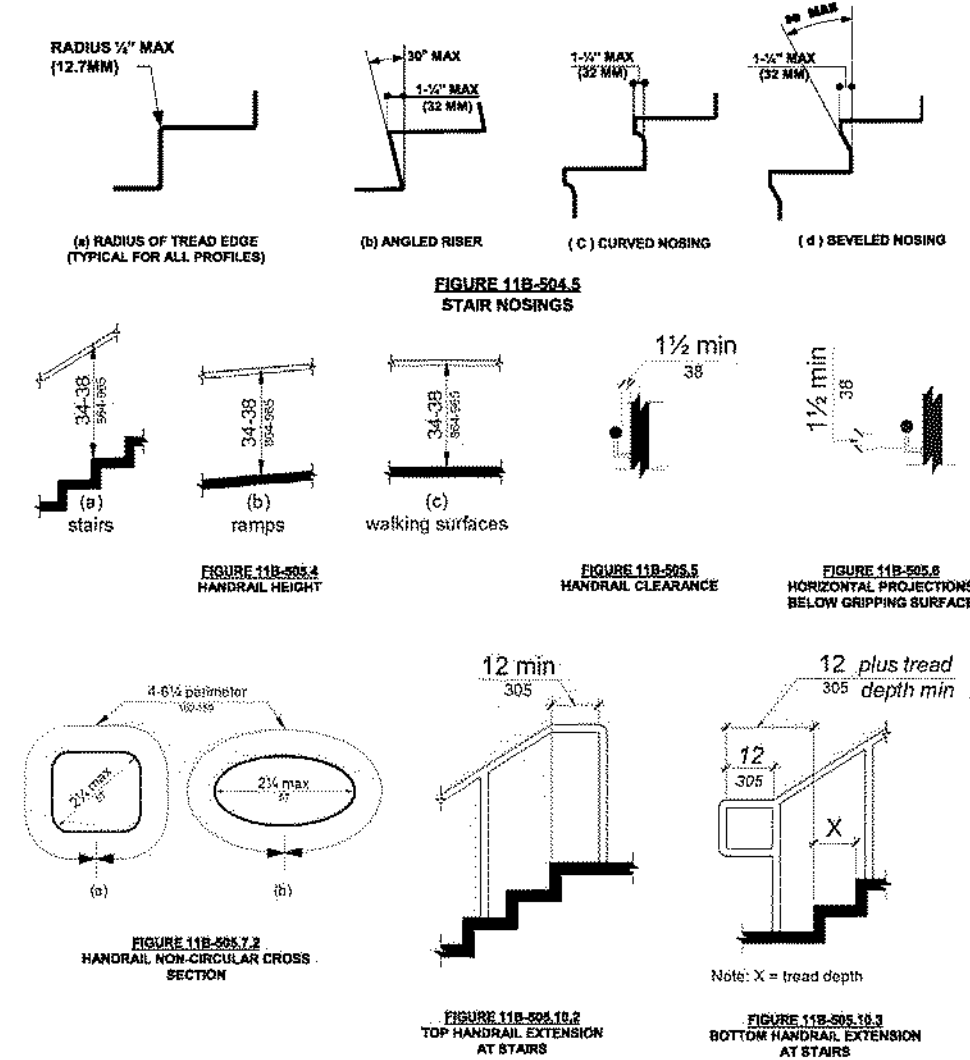
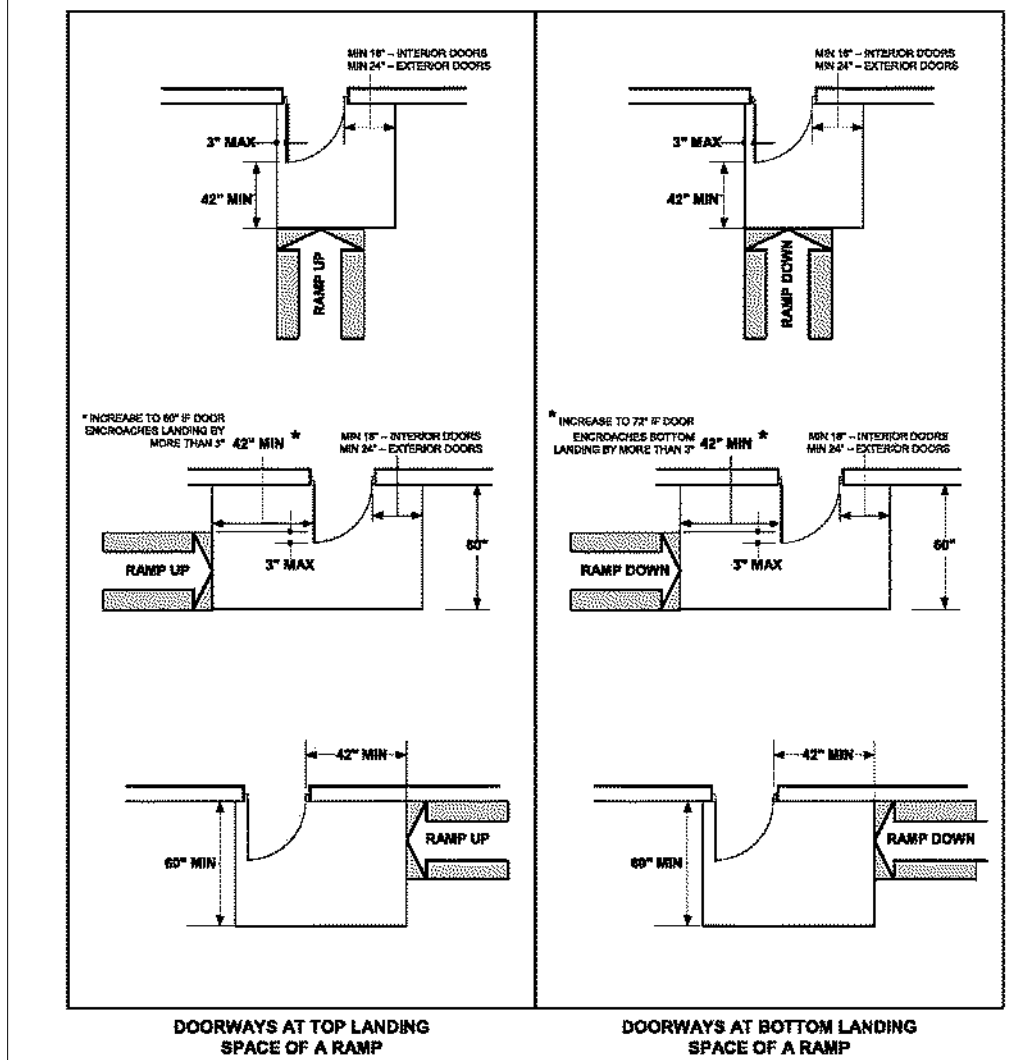
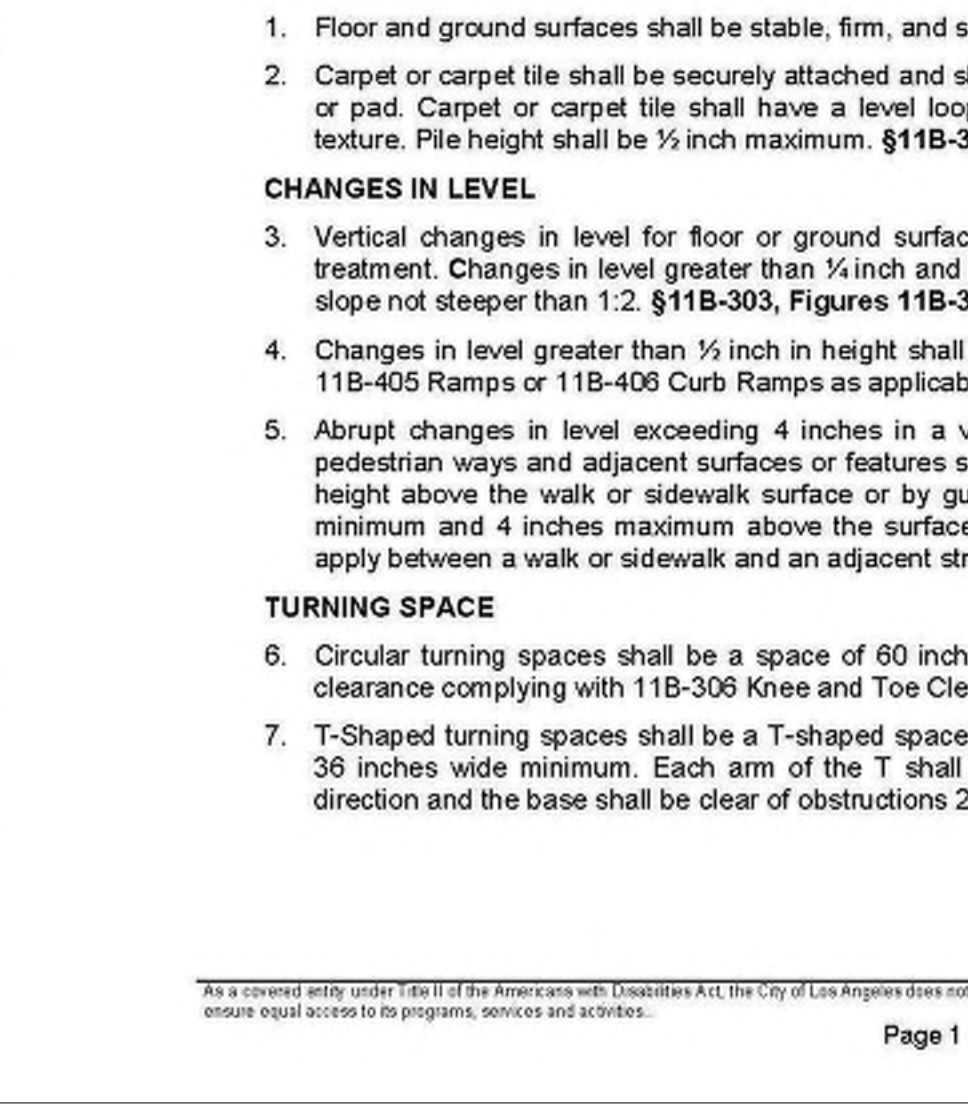
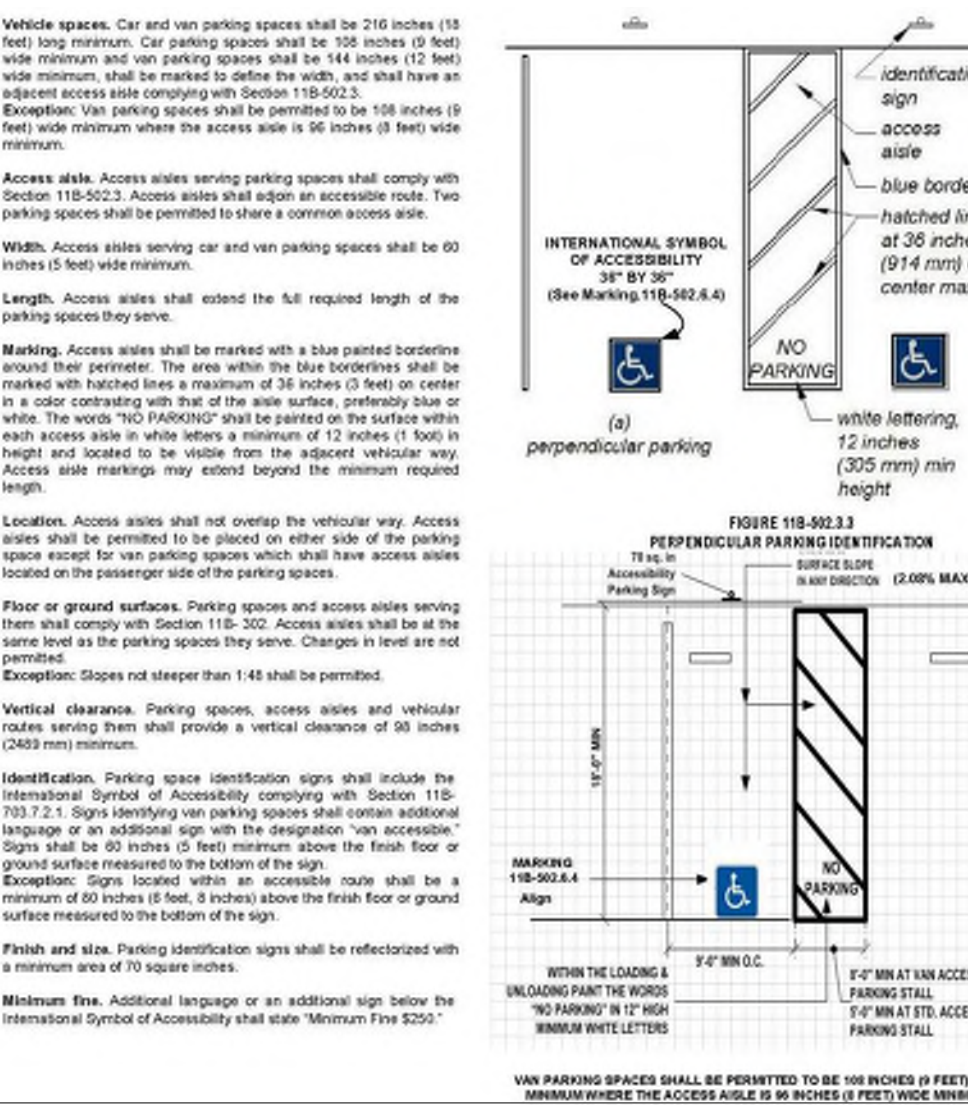
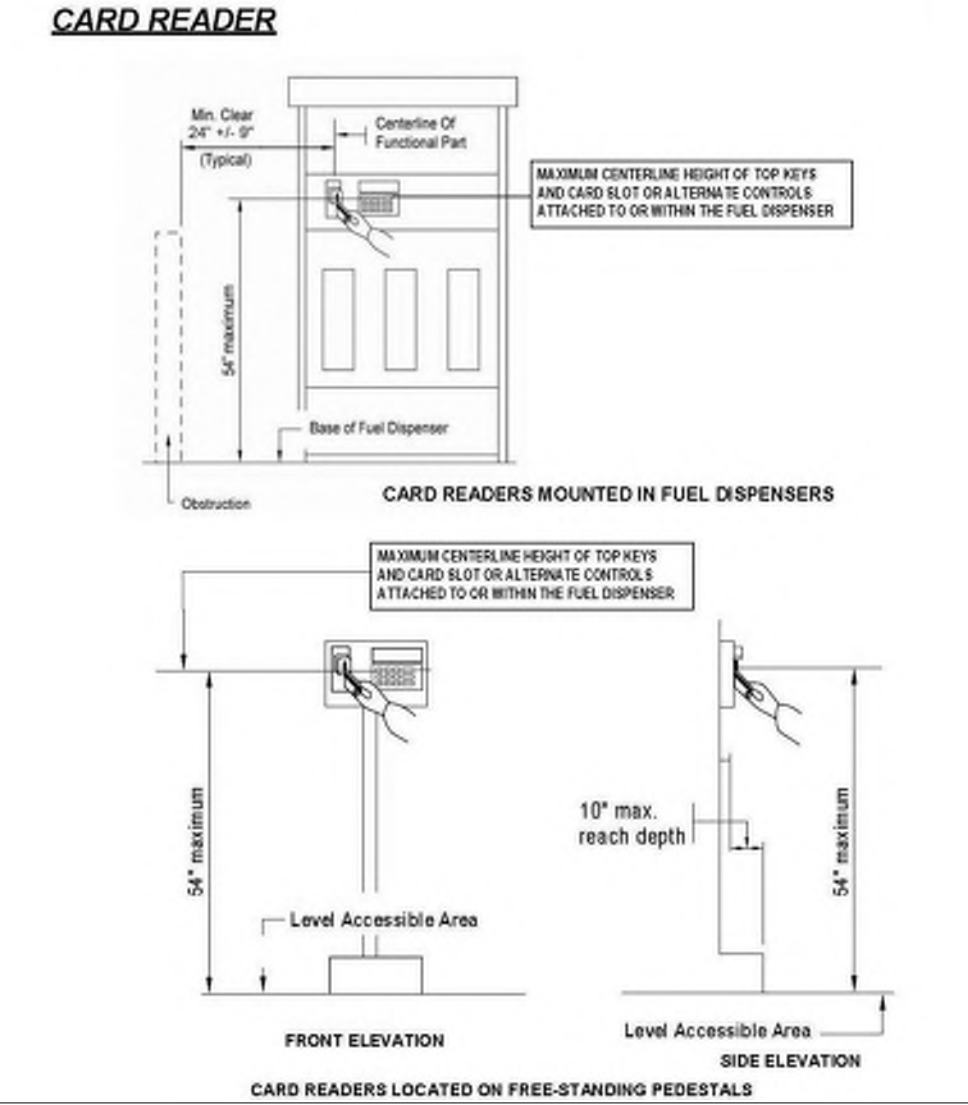
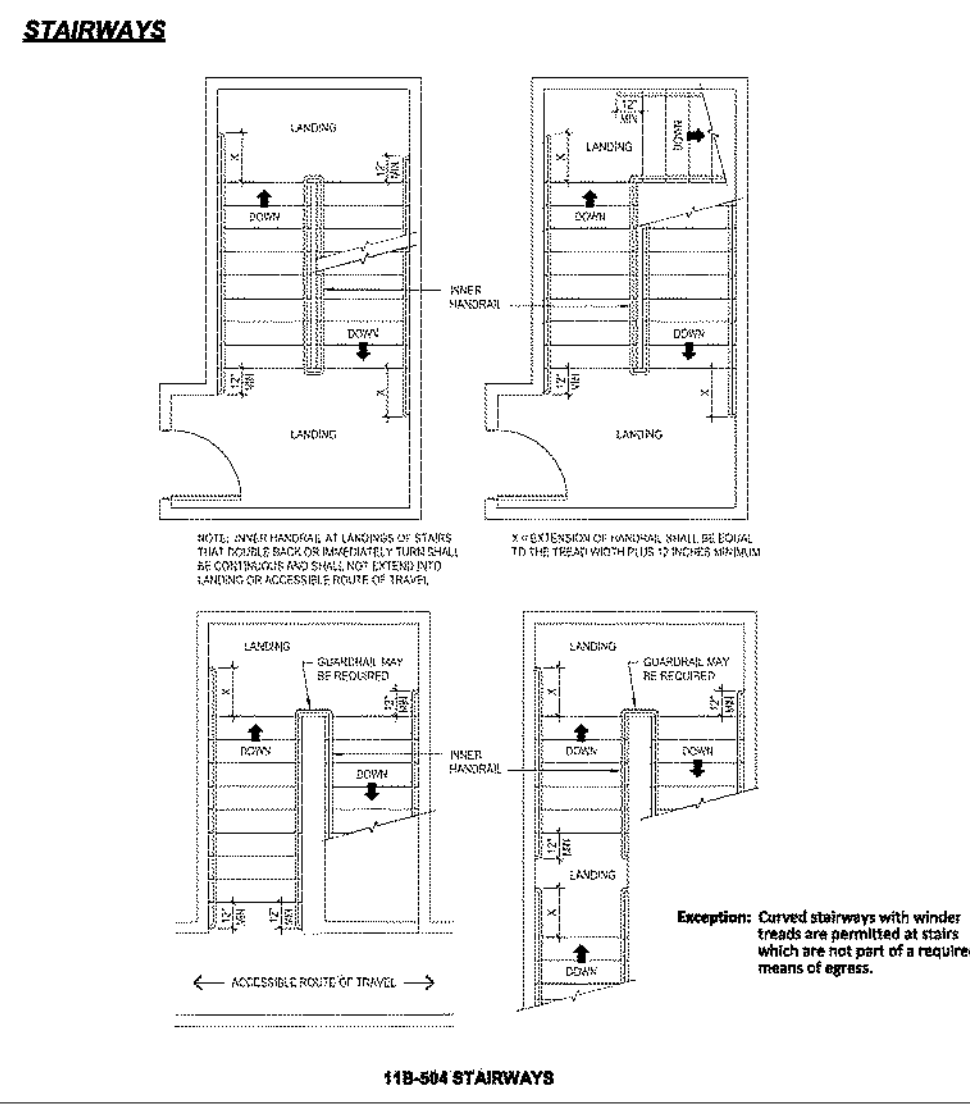
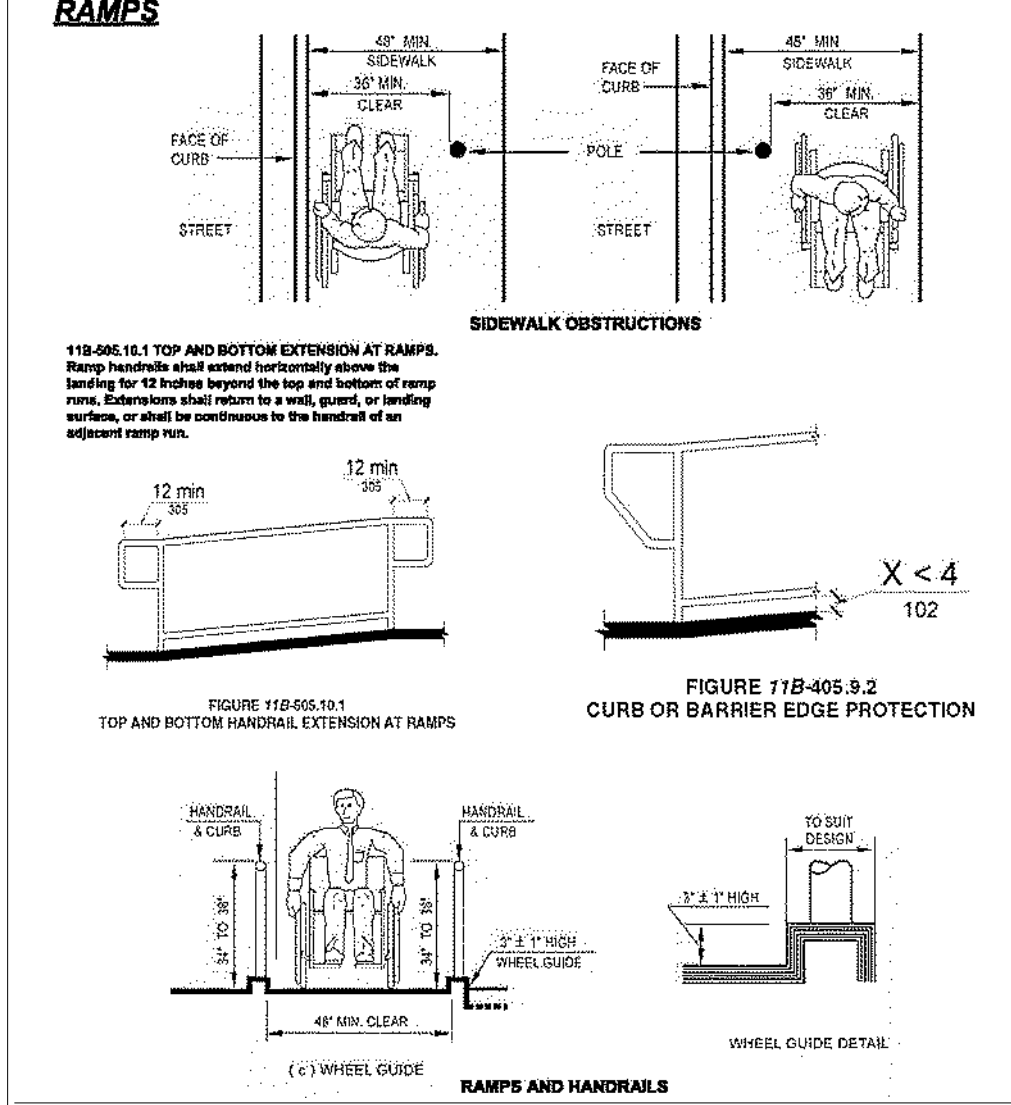
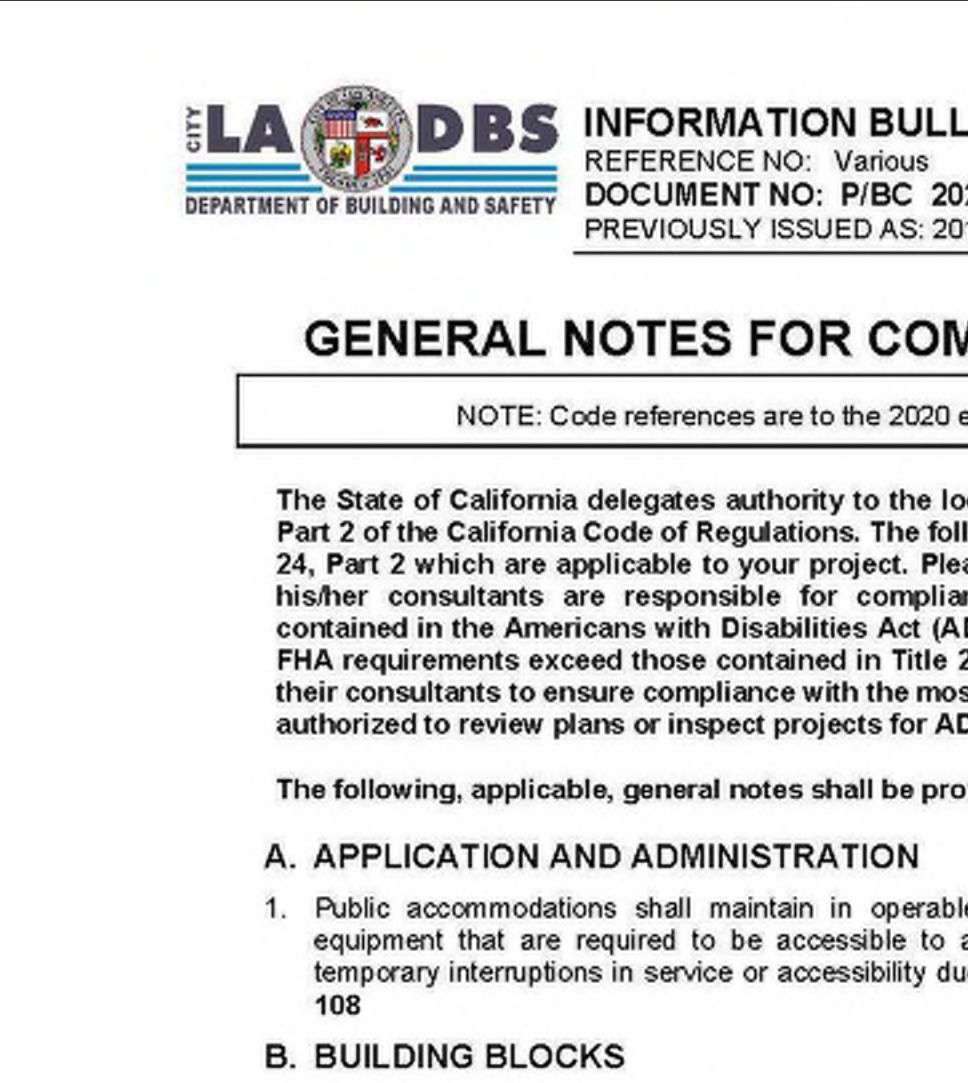
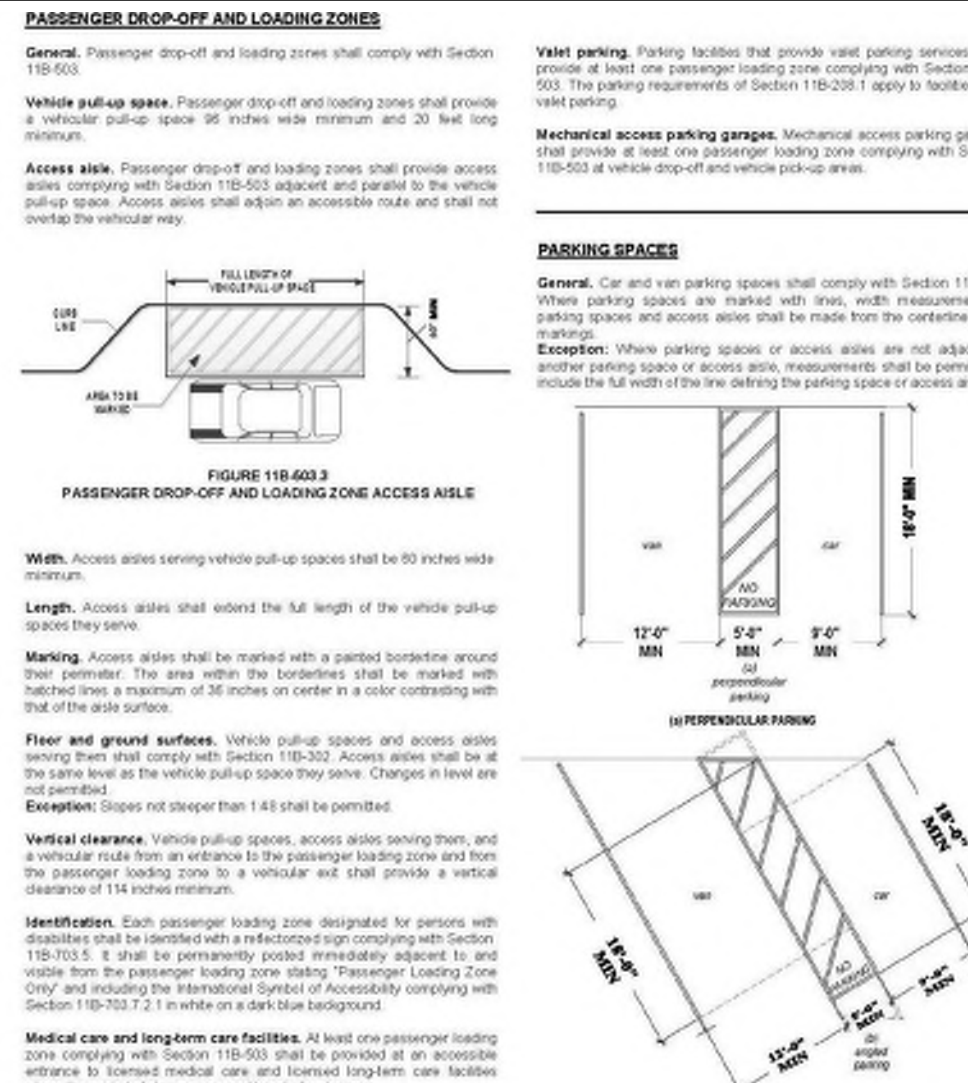
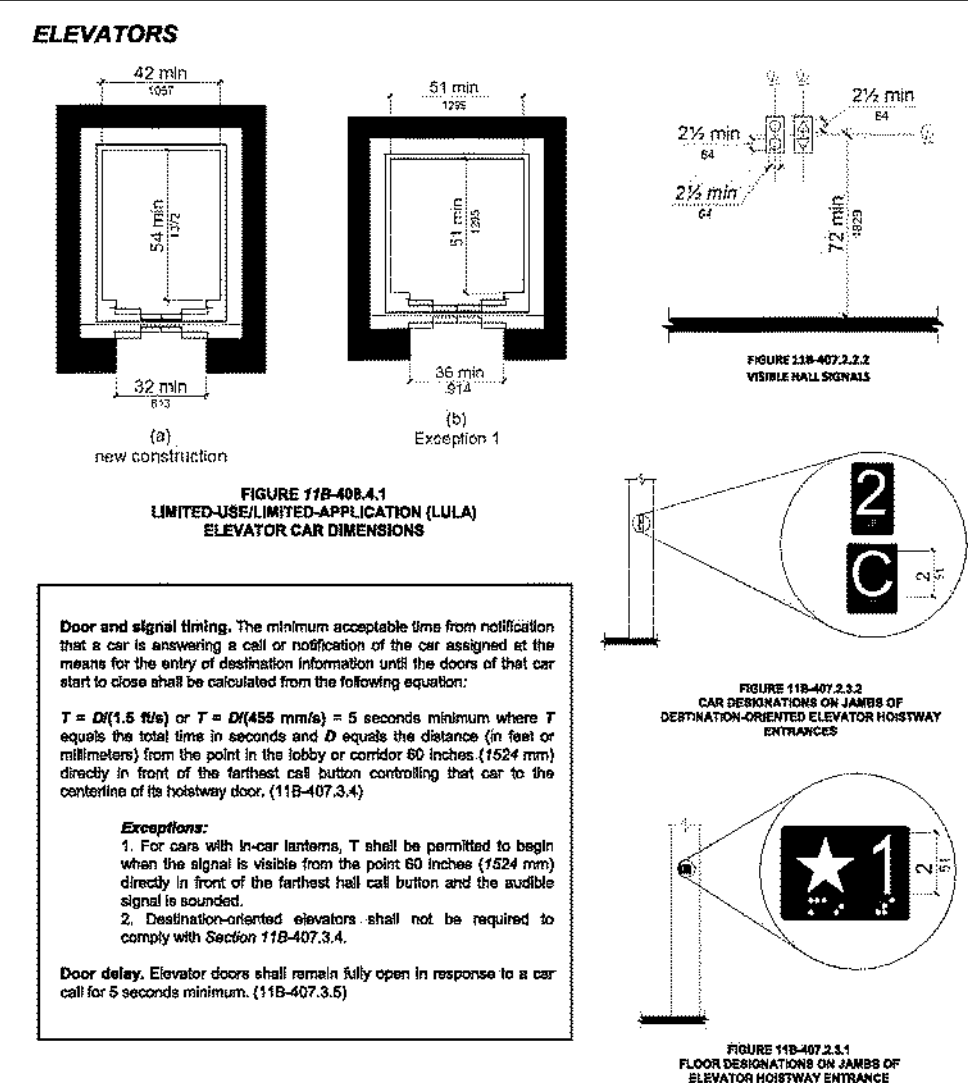
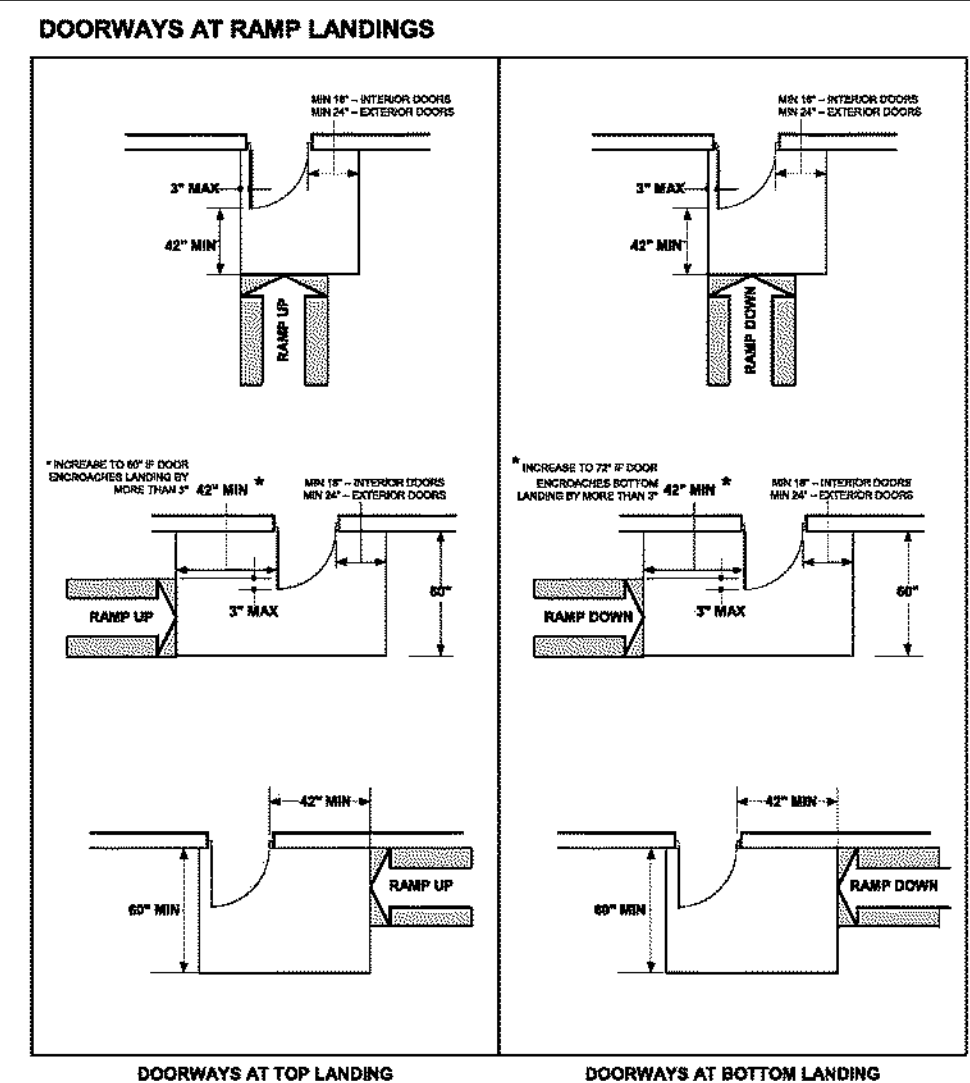
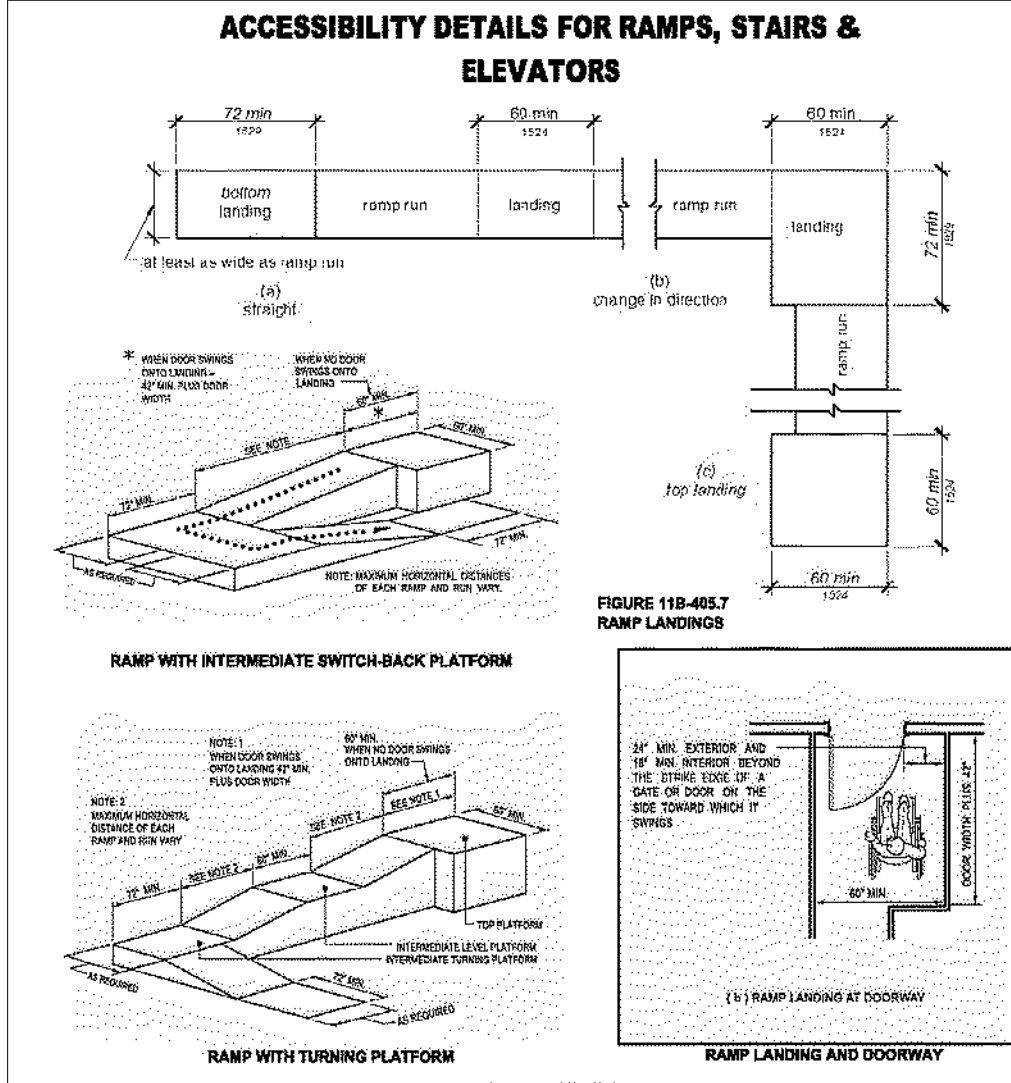
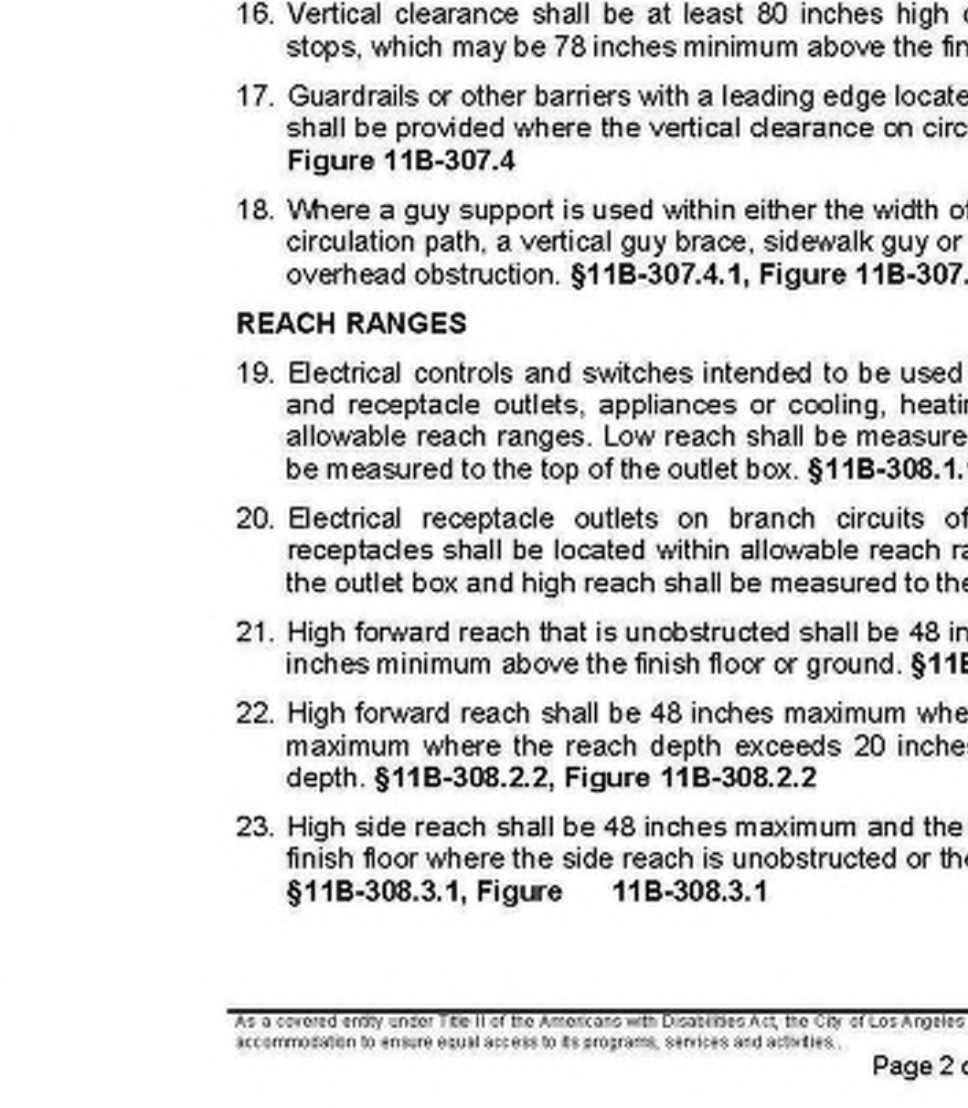


Table 11B-208.2 PARKING SPACES: TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY and MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES.



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OWNER: SAM HABESYAN ADDRESS: 13702 VENTURA BLVD., SHERMAN OAKS, CA 91423

ACCESSIBILITY DETAILS S E I C development

PROJECT INFO JOB NUMBER: 21041 DATE DRAWN: 4/20/22 DRAWN BY: S.T. CHECKED BY: V.K. SCALE: N.T.S.



- 24. High side reach shall be 46 inches maximum above the finish floor or ground where the high side reach is over an obstruction more than 10 inches but not more than 24 inches in depth. §11B-308.3.2, Figure 11B-308.3.2
25. Obstructions for high side reach shall not exceed 34 inches in height and 24 inches in depth. §11B-308.3.2, Figure 11B-308.3.2
26. Obstructed high side reach for the top of washing machines and clothes dryers shall be permitted to be 36 inches maximum above the finish floor. §11B-308.3.2
27. Obstructed high side reach for the operable parts of fuel dispensers shall be permitted to be 54 inches maximum measured from the surface of the vehicular way where fuel dispensers are installed on existing curbs. §11B-308.3.2

OPERABLE PARTS

- 28. Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. Force required to activate operable parts shall be 5 pounds maximum. §11B-309.4

C. ACCESSIBLE ROUTES

DETECTABLE WARNINGS AND DETECTABLE DIRECTIONAL TEXTURE

- 1. Detectable warning surfaces shall be yellow and approximate FS 3358 of Federal Standard 595C. §11B-705.1.1.3.1
2. Detectable warning surfaces shall provide a 70 percent minimum visual contrast with adjacent walking surfaces. Contrast in percent shall be determined by: Contrast percent = [(B1-B2)/B1] x 100 where B1 = light reflectance value (LRV) of the lighter area and B2 = light reflectance value (LRV) of the darker area §11B-705.1.1.3.2 (See exception)

DOORS, DOORWAYS, AND GATES

- 3. Doors, doorways, and gates providing user passage shall be provided in accordance with 11B-206.5 Doors, Doorways, and Gates. §11B-206.5
4. Doors, doorways and gates that are part of an accessible route shall comply with 11B-404 Doors, Doorways, and Gates. §11B-404.1
5. Door openings shall provide a clear width of 32 inches minimum. Clear openings of doorways with swinging doors shall be measured between the face of the door and the stop, with the door open 90 degrees. Openings more than 24 inches deep shall provide a clear opening of 36 inches minimum. There shall be no projections into the required clear opening width lower than 34 inches above the finish floor or ground. Projections into the clear opening width between 34 inches and 80 inches above the finish floor or ground shall not exceed 4 inches. §11B-404.2.3
6. Swinging doors and gates shall have maneuvering clearances complying with Table 11B-404.2.4.1. §11B-404.2.4.1
7. Doorways less than 36 inches wide without doors or gates, sliding doors, or folding doors shall have maneuvering clearances complying with Table 11B-404.2.4.2. §11B-404.2.4.2
8. Maneuvering clearances for forward approach shall be provided when any obstruction within 18 inches of the latch side an interior doorway, or within 24 inches of the latch side of an exterior doorway, projects more than 8 inches beyond the face of the door, measured perpendicular to the face of the door or gate. §11B-404.2.4.3
9. Thresholds, if provided at doorways, shall be 1/2 inch high maximum. Raised thresholds and changes in level at doorways shall comply with 11B-302 Floor or Ground Surfaces and 11B-303 Changes in Level. §11B-404.2.5
10. Handles, pulls, latches, locks, and other operable parts on doors and gates shall comply with 11B-309.4 Operation. Operable parts of such hardware shall be 34 inches minimum and 44 inches maximum above

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- the finish floor or ground. Where sliding doors are in the fully open position, operating hardware shall be exposed and usable from both sides. §11B-404.2.7
11. The force for pushing or pulling open a door or gate other than fire doors shall be as follows: §11B-404.2.9
a. Interior hinged doors and gates: 5 pounds maximum.
b. Sliding or folding doors: 5 pounds maximum.
c. Required fire doors: the minimum opening force allowable by the appropriate administrative authority, not to exceed 15 pounds.
d. Exterior hinged doors: 5 pounds maximum.
12. Swinging door and gate surfaces within 10 inches of the finish floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16 inch of the same plane as the other and be free of sharp or abrasive edges. Cavities created by added kick plates shall be capped. §11B-404.2.10

RAMPS

- 13. Ramp runs shall have a running slope not steeper than 1:12 (8.33%). §11B-405.2
14. Cross slope of ramp runs shall not be steeper than 1:48 (2.083%). §11B-405.3
15. Floor or ground surfaces of ramp runs shall comply with 11B-302 Floor or Ground Surfaces. Changes in level other than the running slope and cross slope are not permitted on ramp runs. §11B-405.4
16. The clear width of a ramp run shall be 48 inches minimum. §11B-405.5
17. The rise for any ramp run shall be 30 inches maximum. §11B-405.6
18. Ramps shall have landings at the top and the bottom of each ramp run. §11B-405.7
19. Landings shall comply with 11B-302 Floor or Ground Surfaces. Changes in level are not permitted. §11B-405.7.1
20. The landing clear width shall be at least as wide as the widest ramp run leading to the landing. §11B-405.7.2
21. Top landings shall be 60 inches wide minimum. §11B-405.7.2.1
22. The landing clear length shall be 60 inches long minimum. §11B-405.7.3
23. Bottom landings shall extend 72 inches minimum in the direction of ramp run. §11B-405.7.3.1
24. Ramps that change direction between runs at landings shall have a clear landing 60 inches minimum by 72 inches minimum in the direction of downward travel from the upper ramp run. §11B-405.7.4
25. Where doorways are located adjacent to a ramp landing, maneuvering clearances required by 11B-404.2.4 and 11B-404.3.2 shall be permitted to overlap the required landing area. Doors, when fully open, shall not reduce the required ramp landing width by more than 3 inches. Doors, in any position, shall not reduce the minimum dimension of the ramp landing to less than 42 inches. §11B-405.7.5
26. Ramp runs shall have compliant handrails per 11B-505 Handrails. §11B-405.8
27. Edge protection complying with 11B-405.9.2 Curb or Barrier shall be provided on each side of ramp runs and at each side of ramp landings. §11B-405.9 (See exceptions)
28. A curb or barrier shall be provided that prevents the passage of a 4 inch diameter sphere, where any portion of the sphere is within 4 inches of the finish floor or ground surface. To prevent wheel entrapment, the curb or barrier shall provide a continuous and uninterrupted barrier along the length of the ramp. §11B-405.9.2
29. Landings subject to wet conditions shall be designed to prevent the accumulation of water. §11B-405.10

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- 33. Clearance between handrail gripping surfaces and adjacent surfaces shall be 1 1/2 inches minimum. Handrails may be located in a recess if the recess is 3 inches maximum deep and 18 inches minimum clear above the top of the handrail. §11B-505.5
34. Handrail gripping surfaces shall be continuous along their length and shall not be obstructed along their tops or sides. The bottoms of handrail gripping surfaces shall not be obstructed for more than 20 percent of their length. Where provided, horizontal projections shall occur 1 1/2 inches minimum below the bottom of the handrail-gripping surface. §11B-505.6
35. Handrail gripping surfaces with a circular cross section shall have an outside diameter of 1 1/4 inches minimum and 2 inches maximum. §11B-505.7.1
36. Handrail gripping surfaces with a non-circular cross section shall have a perimeter dimension of 4 inches minimum and 8 1/4 inches maximum, and a cross-section dimension of 2 1/4 inches maximum. §11B-505.7.2
37. Handrail gripping surfaces shall extend beyond and in the same direction of stair flights and ramp runs in accordance with Section 11B-505.10 Handrail Extensions. §11B-505.10
38. Ramp handrails shall extend horizontally above the landing for 12 inches minimum beyond the top and bottom of ramp runs. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent ramp run. §11B-505.10.1
39. At the top of a stair flight, handrails shall extend horizontally above the landing for 12 inches minimum beginning directly above the first riser nosing. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight. §11B-505.10.2
40. At the bottom of a stair flight, handrails shall extend at the slope of the stair flight for a horizontal distance equal to one tread depth beyond the last riser nosing. The horizontal extension of a handrail shall be 12 inches long minimum and a height equal to that of the sloping portion of the handrail as measured above the stair nosings. Extension shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight. §11B-505.10.3

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include a raised five pointed star located to the left of the identifying floor level. The outside diameter of the star shall be the same as the height of the raised characters. §11B-504.8

CURB RAMPS, BLENDED TRANSITIONS AND ISLANDS

- 49. Perpendicular ramp runs shall have a running slope not steeper than 1:12 (8.33%). §11B-406.2.1
50. For perpendicular ramps, where provided, curb ramp flares shall not be steeper than 1:10. §11B-406.2, Figure 11B-406.2.2
51. The running slope of the curb ramp segments shall be in-line with the direction of sidewalk travel. Ramp runs shall have a running slope not steeper than 1:12 (8.33%). §11B-406.3.1, Figure 11B-406.3.2
52. A turning space 48 inches minimum by 48 inches minimum shall be provided at the bottom of the curb ramp. The slope of the turning space in all directions shall be 1:48 maximum (2.083%). §11B-406.3.2
53. Blended transition ramps shall have a running slope not steeper than 1:20 (5%). §11B-406.4.1
54. Curb ramps and the flared sides of curb ramps shall be located so that they do not project into vehicular traffic lanes, parking spaces, or parking access aisles. Curb ramps at marked crossings shall be wholly contained within the markings, excluding any flared sides. §11B-406.5.1
55. The clear width of curb ramp runs (excluding any flared sides), blended transitions, and turning spaces shall be 48 inches minimum. §11B-406.5.2
56. Landings shall be provided at the tops of curb ramps and blended transitions (parallel curb ramps shall not be required to comply). The landing clear length shall be 48 inches minimum. The landing clear width shall be at least as wide as the curb ramp, excluding any flared sides, or the blended transition leading to the landing. The slope of the landing in all directions shall be 1:48 (2.083%) maximum. §11B-406.5.3
57. Grade breaks at the top and bottom of curb ramp runs shall be perpendicular to the direction of the ramp run. Grade breaks shall not be permitted on the surface of ramp runs and turning spaces. Surface slopes that meet at grade breaks shall be flush. §11B-406.5.6
58. The cross slope of curb ramps and blended transitions shall be 1:48 (2.083%) maximum. §11B-406.5.7
59. Counter slopes of adjoining gutters and road surfaces immediately adjacent to and within 24 inches of the curb ramp shall not be steeper than 1:20 (5%). The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level. §11B-406.5.8
60. The bottom of diagonal curb ramps shall have a clear space 48 inches minimum outside active traffic lanes of the roadway. Diagonal curb ramps provided at marked crossings shall provide the 48 inches minimum clear space within the markings. §11B-406.5.9
61. Curb ramps and blended transitions shall have detectable warnings complying with 11B-705 Detectable Warnings. §11B-406.5.12
62. Raised islands in crossings shall be cut through level with the street or have curb ramps at both sides. The clear width of the accessible route at islands shall be 60 inches wide minimum. Where curb ramps are provided, they shall comply with 11B-406 Curb Ramps, Blended Transitions and Islands. Landings complying with 11B-406.5.3 Landings and the accessible route shall be permitted to overlap. Islands shall have detectable warnings complying with 11B-705 Detectable Warnings and Detectable Directional Texture. §11B-406.6, Figure 11B-406.6

D. GENERAL SITE AND BUILDING ELEMENTS

- 1. Where parking spaces are provided, accessible parking spaces shall be provided in number and kind required per Section 11B-208 Parking Spaces. §11B-208.1
2. Where passenger loading zones, drop-off zones, and/or bus stops are provided, accessible passenger loading zones, drop-off zones, and/or bus stops are required.
3. Where Electric vehicle charging stations (EVCS) are provided, they shall comply with Section 11B-812 as required by Section 11B-228.3.
4. EVCS complying with Section 11B-812 that serve a particular building or facility shall be located on an accessible route to an entrance complying with Section 11B-206.4. Where EVCS do not serve a particular building or facility, EVCS complying with Section 11B-812 shall be located on an accessible route to an accessible pedestrian entrance of the EV charging facility.

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This set of plans and specifications has been reviewed and is approved for compliance with state and local laws and ordinances related to accessibility to public accommodations and housing.

E. PLUMBING FIXTURES AND FACILITIES

DRINKING FOUNTAINS

- 1. Drinking fountains shall comply with Sections 11B-307 Protruding Objects and 11B-602 General Requirements. §11B-602.1
2. Units shall have a clear floor or ground space complying with Section 11B-305 Clear Floor or Ground Space positioned for a forward approach and centered on the unit. Knee and toe clearance complying with Section 11B-306 Knee and Toe Clearance shall be provided. §11B-602.2
3. Spout outlets shall be 36 inches maximum above the finish floor or ground. §11B-602.4
4. The spout shall be located 15 inches minimum from the vertical support and 5 inches maximum from the front edge of the unit, including bumpers. §11B-602.5
5. The spout shall provide a flow of water 4 inches high minimum and shall be located 5 inches maximum from the front of the unit. The angle of the water stream shall be measured horizontally relative to the front face of the unit. Where spouts are located less than 3 inches from the front of the unit, the angle of the water stream shall be 30 degrees maximum. Where spouts are located between 3 inches and 5 inches maximum from the front of the unit, the angle of the water stream shall be 15 degrees maximum. §11B-602.6
6. Spout outlets of drinking fountains for standing persons shall be 38 inches minimum and 43 inches maximum above the finish floor or ground. §11B-602.7
7. Wall and post-mounted cantilevered drinking fountains shall be 18 inches minimum and 19 inches maximum in depth. §11B-602.8
8. All drinking fountains shall either be located completely within alcoves, positioned completely between wing walls, or otherwise positioned so as not to encroach into pedestrian ways. The protected area within such a drinking fountain is located shall be 32 inches wide minimum and 18 inches deep minimum, and shall comply with Section 11B-305.7 Maneuvering Clearance. When used, wing walls or barriers shall protect horizontally at least as far as the drinking fountain and to within 6 inches vertically from the floor or ground surface. §11B-602.9

TOILET AND BATHING ROOM CLEARANCES

- 9. Doors to unisex toilet rooms and unisex bathing rooms shall have privacy latches. §11B-213.2.1
10. Mirrors located above the lavatories or countertops shall be installed within the bottom edge of the reflecting surface 40 inches maximum above the finish floor or ground. Mirrors not located above the lavatories or countertops shall be installed with the bottom edge of the reflecting surface 35 inches maximum above the finish floor or ground. §11B-603.3
11. Coat hooks shall be located within one of the reach ranges specified in Section 11B-308. Shelves shall be located 40 inches minimum and 48 inches maximum above the finish floor. Medicine cabinets shall be located with a usable shelf no higher than 44 inches maximum above the finish floor. §11B-603.4
12. Where towel or sanitary napkin dispensers, waste receptacles, or other accessories are provided in toilet facilities, at least one of each type shall be located on an accessible route. All operable parts, including coin slots, shall be 40 inches maximum above the finish floor. Baby changing stations are not required to comply with Section 11B-603.5 (See exception) §11B-603.5

WATER CLOSETS AND TOILET COMPARTMENTS

- 13. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with Section 11B-309.4 Operation except they shall be located 44 inches maximum above the floor. Flush controls shall be located on the open side of the water closet except in ambulatory accessible compartments complying with Section 11B-604.8.2 Ambulatory Accessible Compartments. §11B-604.6
14. Toilet paper dispensers shall comply with Section 11B-309.4 Operation and shall be 7 inches minimum and 9 inches maximum in front of the water closet measured to the centerline of the dispenser. The outlet of the dispenser shall be below the grab bar, 19 inches minimum above the finish floor and shall not be located behind the grab bars. Dispensers shall not be of a type that control delivery or that does not allow continuous paper flow. §11B-604.7

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This set of plans and specifications has been reviewed and is approved for compliance with state and local laws and ordinances related to accessibility to public accommodations and housing.

The stamping of this set of plans and specifications shall not be held to permit or to be an approval of the violation of any provisions of federal, state, and local laws and ordinances related to accessibility to public accommodations and housing.

Total of 10 Sheets

- 15. Sanitary napkin disposal units, if provided, shall comply with Section 11B-309.4 and shall be wall mounted and located on the sidewall between the rear wall of the toilet and the toilet paper dispenser, adjacent to the toilet paper dispenser. The disposal unit shall be located below the grab bar with the opening of the disposal unit 19 inches minimum (483 mm) above the finish floor. §11B-604.7.2
16. Urinals shall be the stall-type or the wall-hung type with the rim 17 inches maximum above the finish floor or ground. Urinals shall be 13 1/2 inches deep minimum measured from the outer face of the urinal rim to the back of the fixture. §11B-605.2
17. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with Section 11B-309 Operable Parts except that the flush control shall be mounted at a maximum height of 44 inches above the finish floor. §11B-605.4
18. For lavatories and sinks, a clear floor space complying with Section 11B-305 Clear Floor or Ground Surfaces, positioned for a forward approach, and knee and toe clearance complying with Section 11B-306 Knee and Toe Clearance shall be provided. §11B-606.2
19. Lavatories and sinks shall be installed with the front of the higher of the rim or counter surface 34 inches maximum above the finish floor or ground. §11B-606.3

SIGNS RELATED TO TOILETS AND BATHING FACILITIES

- 20. Entrances leading to toilet rooms and bathing rooms complying with 11B-603 Toilet and Bathing Rooms shall be identified by a geometric symbol complying with 11B-703.7.2.6 Toilet and Bathing Room Geometric Symbols. Where existing toilet rooms or bathing rooms do not comply with 11B-603 Toilet and Bathing Rooms, directional signs indicating the location of the nearest compliant toilet room or bathing room within the facility shall be provided. Signs shall comply with 11B-703.5 Visual Characters and shall include the International Symbol of Accessibility complying with 11B-703.7.2.1 ISA. Where existing toilet rooms or bathing rooms do not comply with 11B-603 Toilet and Bathing Rooms, the toilet rooms or bathing rooms complying with 11B-603 Toilet and Bathing Rooms shall be identified by the International Symbol of Accessibility complying with 11B-703.7.2.1 ISA. Where clustered single user toilet rooms or bathing facilities are permitted to use exceptions to 11B-213.2 Toilet and Bathing Rooms, toilet rooms or bathing facilities complying with 11B-603 Toilet and Bathing Rooms shall be identified by the International Symbol of Accessibility complying with 11B-703.7.2.1 ISA unless all toilet rooms and bathing facilities comply with 11B-603 Toilet and Bathing Rooms. Existing buildings that have been remodeled to provide specific toilet rooms or bathing rooms for public use that comply with these building standards shall have the location of and the directions to these rooms posted in or near the building lobby or entrance on a sign complying with 11B-703.5 Visual Characters, including the International Symbol of Accessibility complying with 11B-703.7.2.1 ISA. §11B-216.8
21. Pictograms shall comply with the following:
a. Pictograms shall have a field height of 6 inches minimum. Characters and Braille shall not be located in the pictogram field. §11B-703.6.1
b. Pictograms and their field shall have a non-glare finish. Pictograms shall contrast with their field with either a light pictogram on a dark field or a dark pictogram on a light field. §11B-703.6.2
c. Pictograms shall have text descriptors located directly below the pictogram field. Text descriptors shall comply with 11B-703.2 Raised Characters, 11B-703.3 Braille and 11B-703.4 Installation Height and Location. §11B-703.6.3
d. The installation height and location of Pictogram signs shall be per §11B-703.4.1.
22. Symbols shall comply with the following:
a. Doorways leading to toilet rooms and bathing rooms shall be identified by a geometric symbol complying with 11B-703.7.2.6 Toilet and Bathing Facilities Geometric Symbols. The symbol shall be mounted at 58 inches minimum and 60 inches maximum above the finish floor or ground surface measured from the centerline of the symbol. Where a door is provided, the symbol shall be mounted within 1 inch of the vertical centerline of the door. §11B-703.7.2.6 (See exception)
b. A triangle symbol shall be located at entrances to men's toilet and bathing facilities and it shall be identified by an equilateral triangle, 1/4 inch thick with edges 12 inches long and a vertex pointing upward. The triangle symbol shall contrast with the door, either light on a dark background or dark on a light background. §11B-703.7.2.6.1

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REVISE DATES:
CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK
AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF SEC DEVELOPMENT NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF SEC DEVELOPMENT. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

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ADDRESS: 13702 VENTURA BLVD., SHERMAN OAKS, CA 91443

ACCESSIBILITY NOTES

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Table with 2 columns: PROJECT INFO, VALUE. Rows include JOB NUMBER (21041), DATE DRAWN (4/20/22), DRAWN BY (S.T.), CHECKED BY (V.K.), SCALE (N.T.S.).











Our mission is to provide the highest level of safety, and to protect public health and the environment from toxic harm.

Fact Sheet, January 2010  
**Universal Waste Fact Sheet**

California's Universal Waste Rule allows individuals and businesses to transport, handle and recycle certain common hazardous wastes, termed universal wastes, in a manner that differs from the requirements for most hazardous wastes. The more relaxed requirements for managing universal wastes were adopted to ensure that they are managed safely and are not disposed of in the trash.

**What are Universal Wastes?**

Universal wastes are hazardous wastes that are widely produced by households and many different types of businesses. Universal wastes include televisions, computers and other electronic devices as well as batteries, fluorescent lamps, mercury thermostats, and other mercury containing equipment, among others.

The hazardous waste regulations (Cal. Code Regs. tit. 22, div. 4.5, ch. 11 section 66261.9) identify seven categories of hazardous wastes that can be managed as universal wastes. Any unwanted item that falls within one of these waste streams can be handled, transported and recycled following the simple requirements set forth in the universal waste regulations (UWR) (Cal. Code Regs. tit. 22, div. 4.5, ch. 23)

**Universal wastes are:**

1. **Electronic devices:** Includes any electronic device that is a hazardous waste (with or without a Cathode Ray Tube (CRT)), including televisions, computer monitors, cell phones, VCRs, computer CPUs and portable DVD players.
2. **Batteries:** Most household-type batteries, including rechargeable nickel-cadmium batteries, silver button batteries, mercury batteries, alkaline batteries and other batteries that exhibit a characteristic of a hazardous waste
3. **Electric lamps:** Fluorescent tubes and bulbs, high intensity discharge lamps, sodium vapor lamps and electric lamps that contain added mercury, as well as any other lamp that exhibits a characteristic of a hazardous waste, (e.g., lead).
4. **Mercury-containing equipment:** Thermostats, mercury switches, mercury thermometers, pressure or vacuum gauges, dilators and weighted tubing, mercury rubber flooring, mercury gas flow regulators, dental amalgams, counterweights, dampers and mercury added novelties such as jewelry, ornaments and footwear.
5. **CRTs:** The glass picture tubes removed from devices such as televisions and computer monitors.
6. **CRT glass:** A cathode ray tube that has been accidentally broken or processed for recycling.
7. **Non-empty aerosol cans**

*Universal Wastes may not be disposed of in the trash!*

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**Regulatory Standards for Universal Waste**

The UWR has separate requirements for each of the three types of regulated entities:

1. Universal waste handlers
2. Universal waste transporters
3. Destination Facilities

**Universal Waste Handlers**

A universal waste handler is a generator of universal waste or the owner or operator of a facility that receives universal waste from another universal waste handler, accumulates universal waste, and sends universal waste to another universal waste handler, a facility that accepts hazardous waste, or a foreign country.

A universal waste handler may be:

1. A person (e.g., a household or business) who generates universal waste but does not accept universal waste from others
2. A person who accepts and accumulates universal waste generated by others at his or her facility
3. A person who accepts universal waste generated by others and conducts certain treatment and recycling activities allowed by the universal waste handler regulations

*Management Requirements for Universal Waste Handlers (Cal. Code Regs. tit. 22, sections 66273.30-66273.39; additional requirements for handlers who conduct authorized treatment, Cal. Code Regs. tit. 22, sections 66273.70-.77)*

- Do not dispose of universal waste or treat universal waste except as provided for in the regulations
- Notify DTSC and/or obtain an EPA identification number
- Use proper containment—non-leaking, compatible containers
- Segregate universal waste in distinct areas
- Determine if materials generated when handling/recycling are hazardous wastes
- Comply with applicable requirements for hazardous waste
- If applicable, comply with zoning requirements when storing universal wastes
- Have spill kits readily available to deal with accidental spills (mercury-containing devices)
- Use proper labeling and markings
- Accumulate universal waste no longer than one year

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- Provide personnel training to personnel who manage universal waste, or who supervise personnel who manage universal waste and keep training records
- Respond to releases of universal waste or its contents; determine if spill residuals are hazardous waste
- Track shipments by keeping records of what was received and shipped (name, address, quantities) for three years

**Universal Waste Transporters**

A universal waste transporter is a person engaged in the offsite transportation of universal waste by air, rail, highway or water. A universal waste transporter may be:

1. Universal waste handler carrying universal waste in his or her own vehicle
2. A package shipping service (e.g., US Postal Service; FedEx, UPS)
3. A commercial carrier (e.g., a trucking company, a hauler specializing in universal waste, or the operator of a destination facility that offers a universal waste pick-up service)
  - If you do not own or operate a facility that accepts, generates, accumulates, or stores universal waste, but you pick up and transport universal waste (e.g., electronic devices from office complexes) to a recycling or collection facility, you are a universal waste transporter. Universal waste transporters do not need to notify DTSC or submit annual reports for their transportation activities.
  - Universal waste transporters may store universal waste at a transfer facility for up to 10 days (depending on local zoning). A universal waste transporter who exceeds this limit is considered a universal waste handler and is subject to the handler requirements summarized above.

**Destination Facilities**

A destination facility is a fully-regulated hazardous waste facility that treats, disposes of, or recycles a specific type of universal waste. Examples of destination facilities are hazardous waste recycling facilities and hazardous waste landfills. A destination facility shall manage the universal waste in accordance with the requirements and conditions in its hazardous waste facility permit, unless authorized by section 66273.60 of title 22 of the California Code of Regulations to manage it pursuant to the reduced requirements applicable to universal waste handlers. A destination facility is required to follow certain rules for shipping universal wastes off-site and for rejecting shipments that contain universal waste and is required to keep records of all shipments received for three years. A facility that only accepts and accumulates universal waste is not a destination facility. Such a facility is regulated as a universal waste handler.

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**Households and Conditionally Exempt Small Quantity Universal Waste Generators (CESQUWG)**

Two categories of universal waste handlers—households and CESQUWGs—are exempt from most of the requirements of the universal waste regulations provided they comply with certain conditions. Handlers who qualify for these exemptions are not required:

- To obtain an EPA ID number or otherwise notify DTSC;
- To keep records of shipments or provide annual reports to DTSC; or
- To label their universal waste.

A household is defined to include a single detached residence (e.g., a house) or a single unit of a multiple-residence unit (e.g., an apartment or condominium). Households that generate hazardous wastes other than universal wastes (e.g., paints and motor oil) can visit DTSC's household hazardous waste Web page (<http://www.dtsc.ca.gov/HazardousWaste/UniversalWaste/HHW.cfm>) for information on how to properly dispose of them.

A **Conditionally Exempt Small Quantity Universal Waste Generator (CESQUWG)** is a universal waste generator who produces less than 100 kilograms (220 pounds) of RCRA hazardous waste, including universal waste that is RCRA universal waste and less than 1 kilogram of acutely hazardous waste in a calendar month. (RCRA hazardous waste is hazardous waste that is regulated under the hazardous waste regulations adopted by the U.S. Environmental Protection Agency.)

*Pursuant to section 66273.8 of title 22 of the California Code of Regulations, a generator who meets the definition of a household or a CESQUWG is exempt from universal waste handler requirements provided he or she:*

- 1) Does not dispose of universal waste;
- 2) Relinquishes universal waste only to another universal waste handler, a universal waste transporter, a destination facility, or a curbside household hazardous waste collection program; and
- 3) Does not conduct treatment of universal waste, except for limited activities enumerated in the regulations (e.g., removing batteries, light bulbs, or mercury switches). This exemption applies only to universal waste generated by the household (e.g. light bulbs, computers, televisions, thermostats, cell phones, etc.), not to universal waste accepted from other people.

**Where can I send universal wastes?**

A handler may not send universal waste to a municipal solid waste (garbage) landfill or a non-hazardous waste recycling center. All handlers of universal waste must relinquish their universal waste to one of the following:

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1. Another handler (typically a business that specializes in collecting, storing, accumulating and shipping universal wastes). Examples:
  - A household hazardous waste facility
  - A "Take-it-Back Partner" such as a retailer or manufacturer
  - A collection event
2. A universal waste transporter. Examples:
  - A curbside HHW collection program
  - A package service (e.g., postal service, UPS)
  - A destination facility that offers a pick-up service
3. A universal waste destination facility (generally, a facility with a permit to treat, store, or dispose of hazardous waste).

Search engines available to find locations accepting universal waste in your area:  
 E-Recycle.org; Earth911.org; CalRecycle database; DTSC map; HHW list;

*For more information, see DTSC's Universal Waste Web page at:  
<http://www.dtsc.ca.gov/HazardousWaste/UniversalWaste/index.cfm>*

*Contact your DTSC regulatory assistance officer at: (800) 728-6942*

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

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OWNER:  
 SAM HABESYAN  
 ADDRESS:  
 13702 VENTURA BLVD.,  
 SHERMAN OAKS, CA 91423

**UNIVERSAL WASTE  
 FACT SHEET**

PROJECT INFO	
JOB NUMBER:	21041
DATE DRAWN:	4/20/22
DRAWN BY:	S.T.
CHECKED BY:	V.K.
SCALE:	N.T.S.